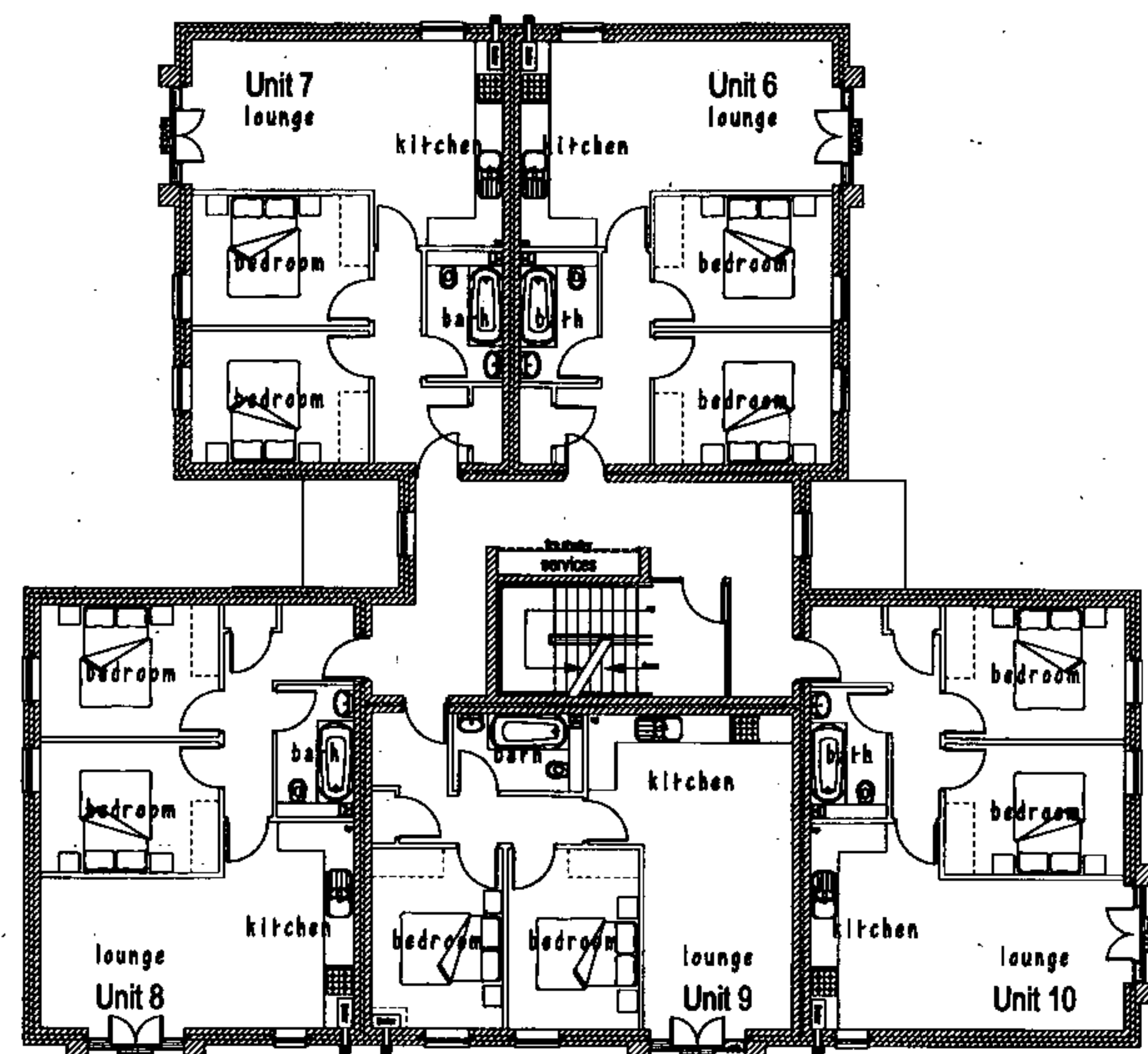
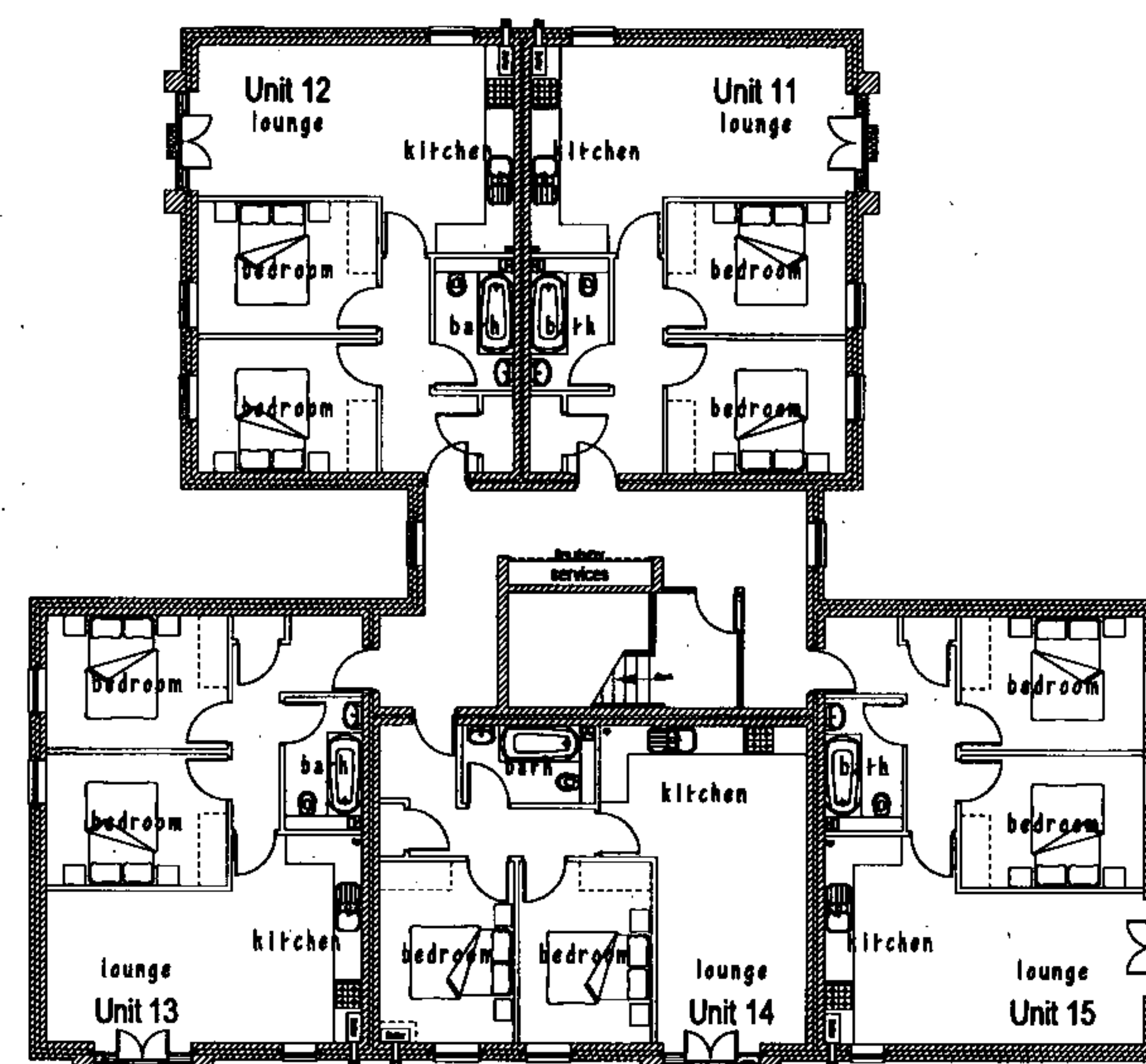


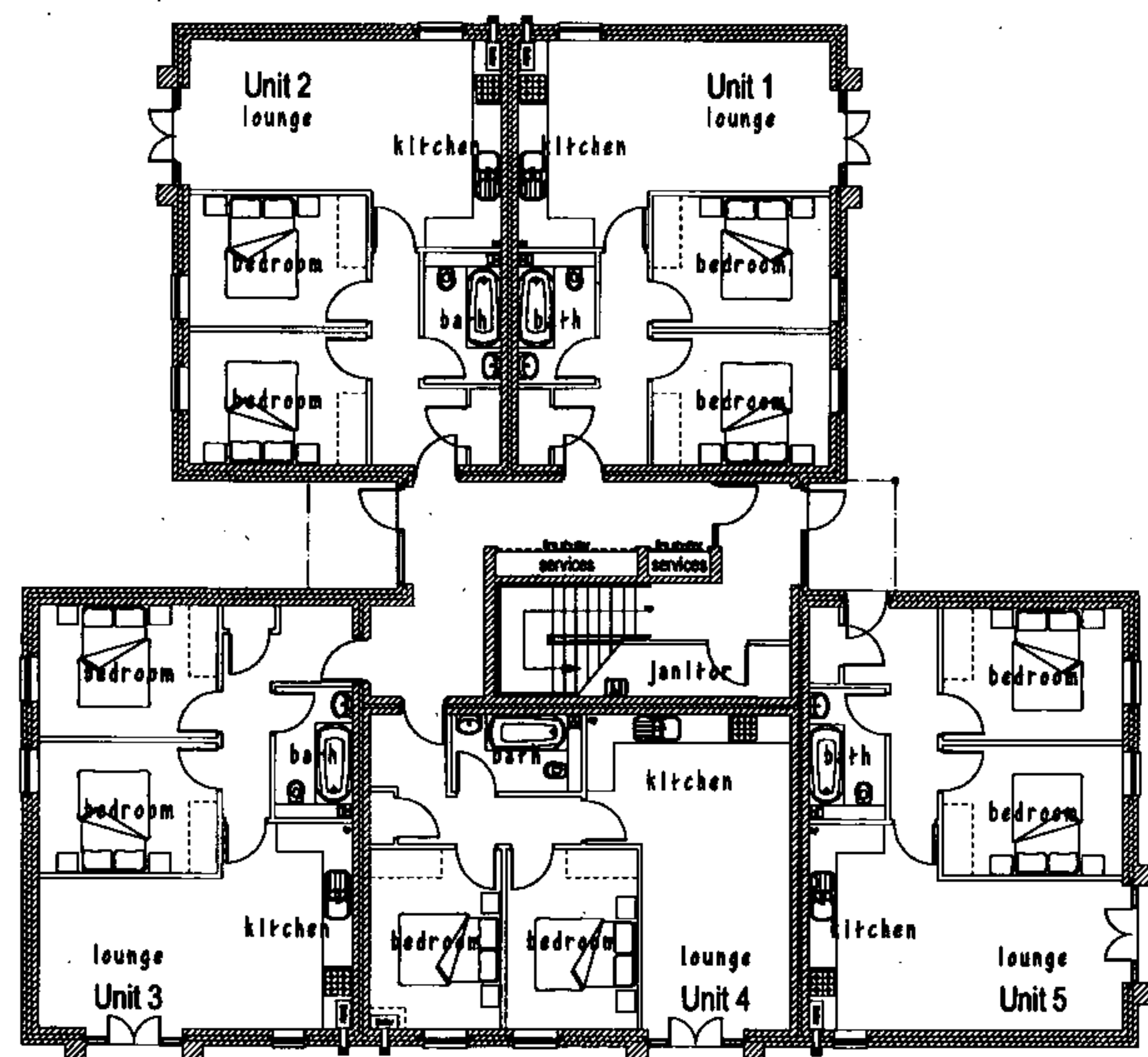
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First Floor Plan



Second Floor Plan



Ground Floor Plan

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PROPOSED 15 No. APARTMENTS,
 GARDEN HOUSE FARM,
 TONGUE LANE, BUXTON,
 DERBYSHIRE, SK17 7PA
 PLANNING PROPOSAL
 FLOOR PLANS

Date	Sheet	Scale
DECEMBER 2007	A1	1:100
2007-1523-01	A	RG

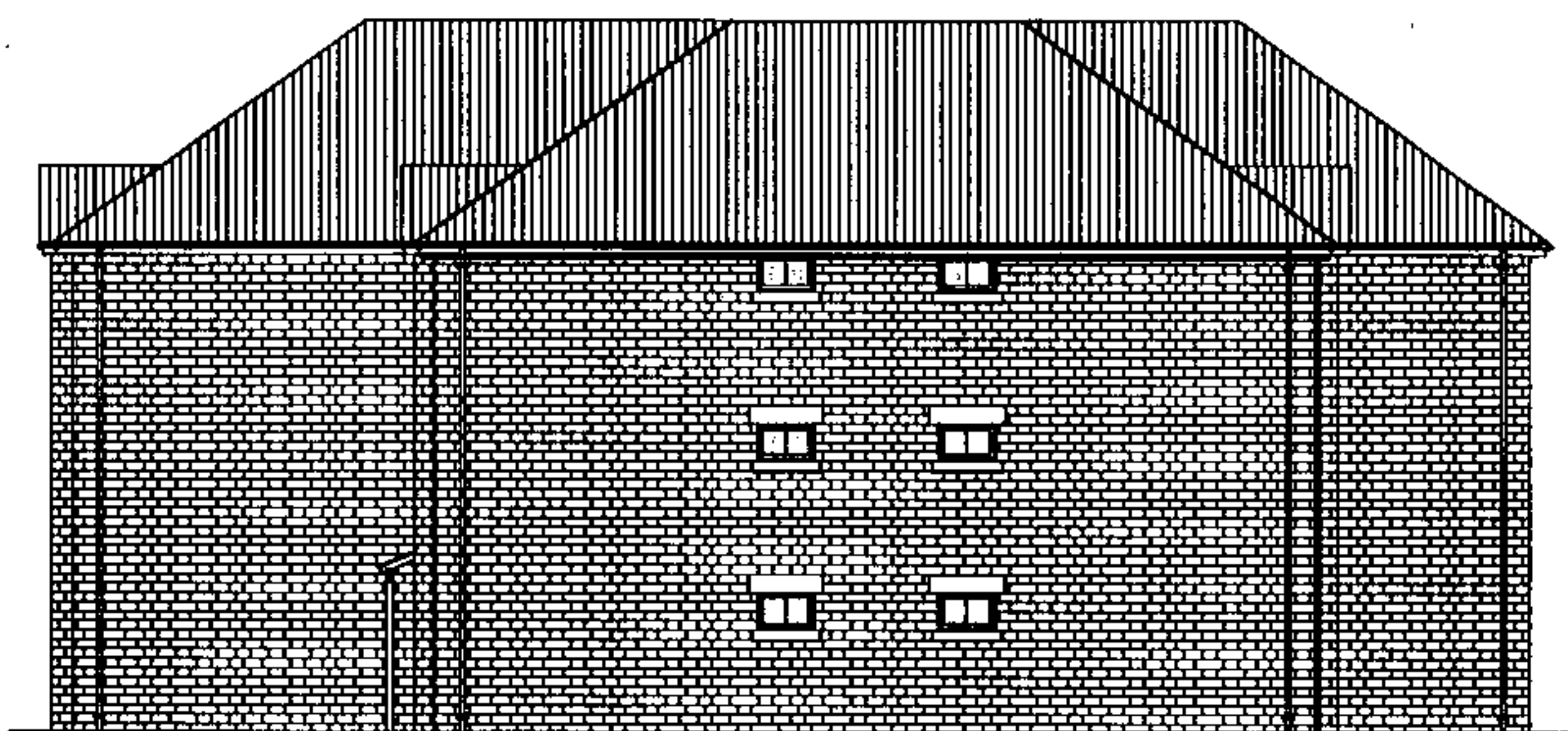
SAMMONS
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Chartered Institute of Architectural Technicians

10 Cawley Buildings Fountain Street, Leek, ST13 6PF
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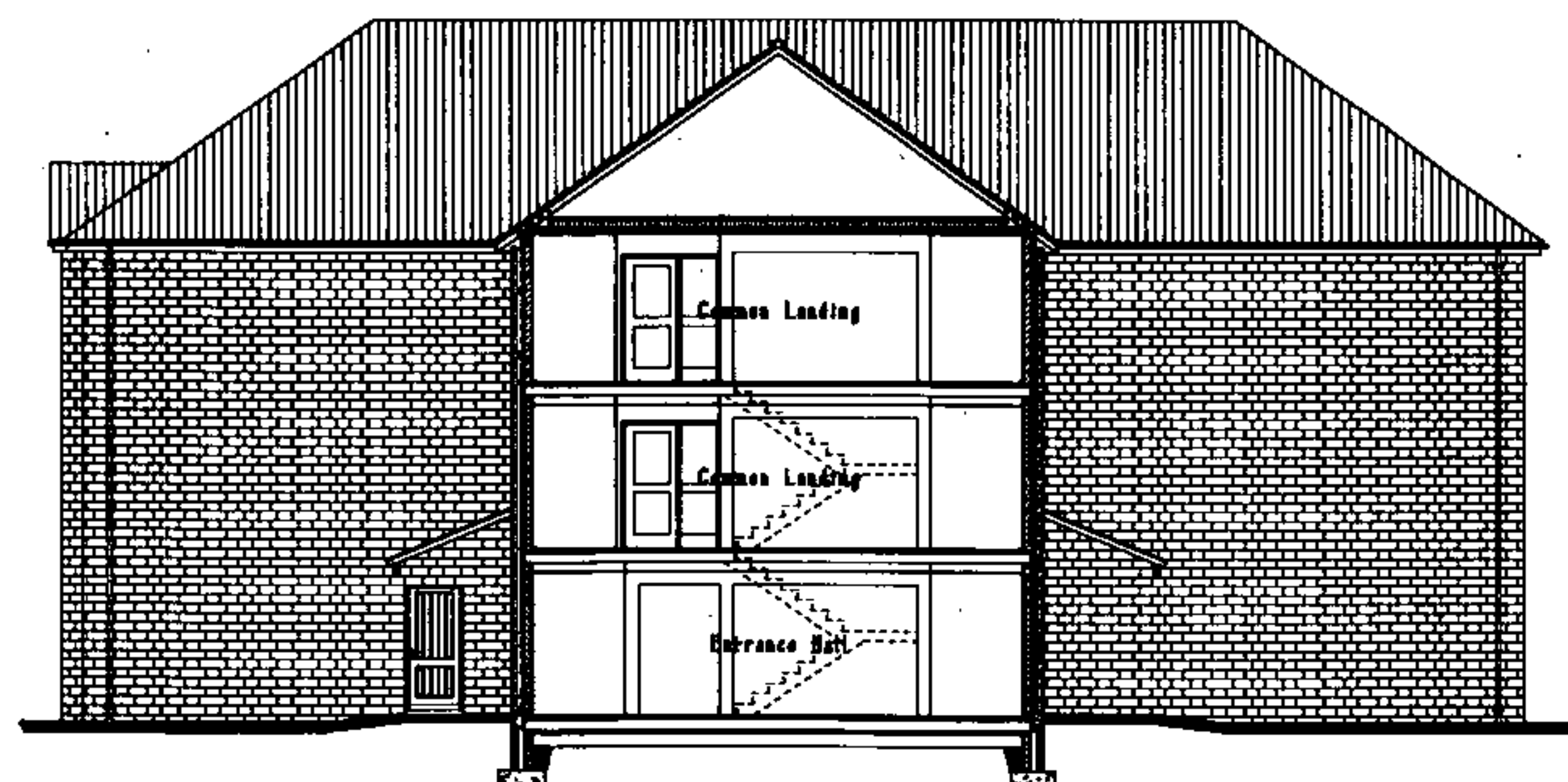
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South Elevation



North Elevation



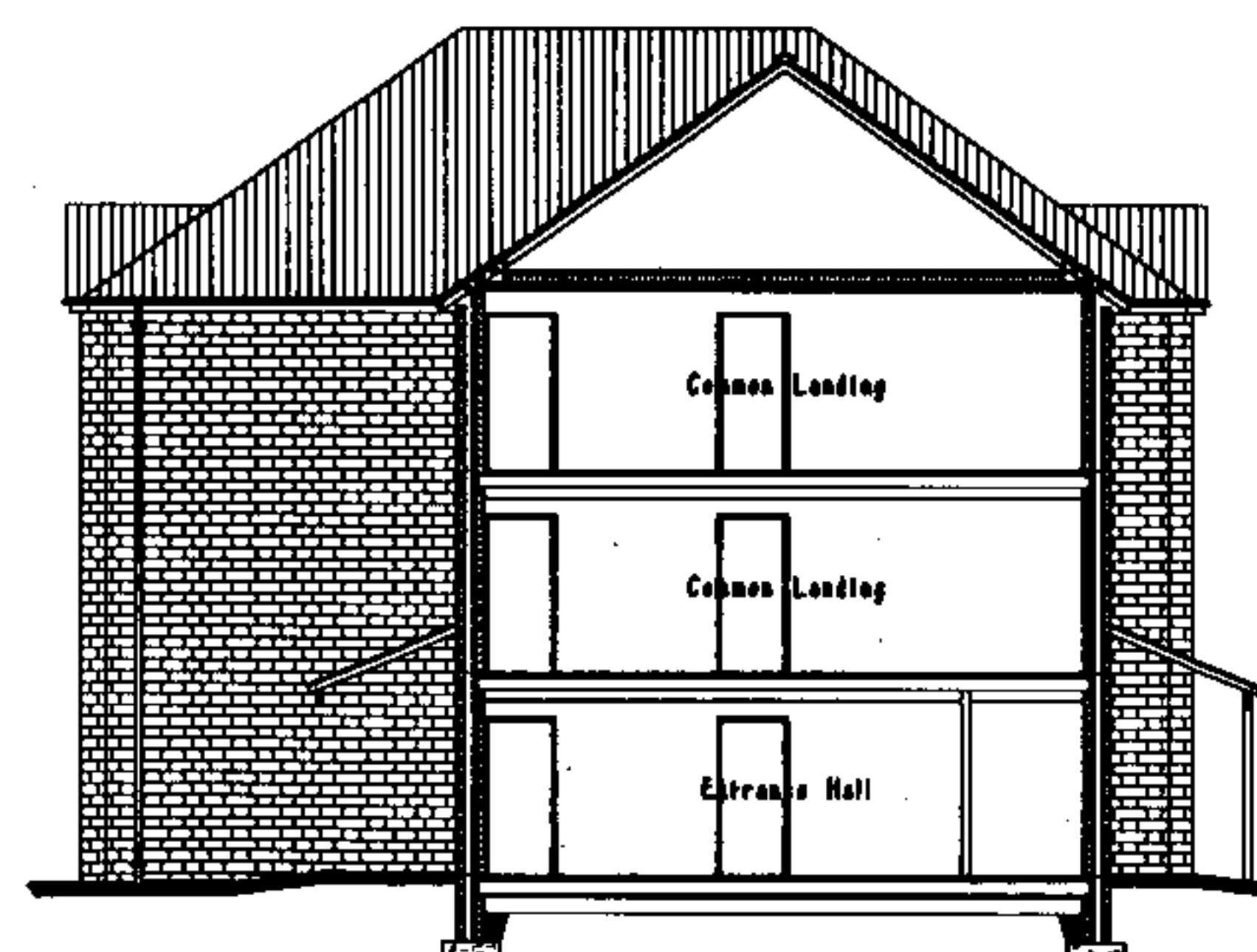
Sectional North Elevation



East Elevation



West Elevation



Sectional South Elevation

EXTERNAL MATERIALS

- Roof :-
Concrete interlocking tiles to Local Authority approval with buff coloured ridge.
- Rainwater Goods :-
Black plastic gutters fixed into brackets.
Black plastic downpipes clipped to wall face.
- Walls :-
Tudor stone walling to local authority approval with complementary reconstituted stone string courses as indicated.
- Windows :-
White upec casements having reconstituted stone heads and cills.
- Doors :-
Upvc feature entrance door and french doors having reconstituted stone heads.
- Entrance Canopy :-
Single glazed lean to canopy.

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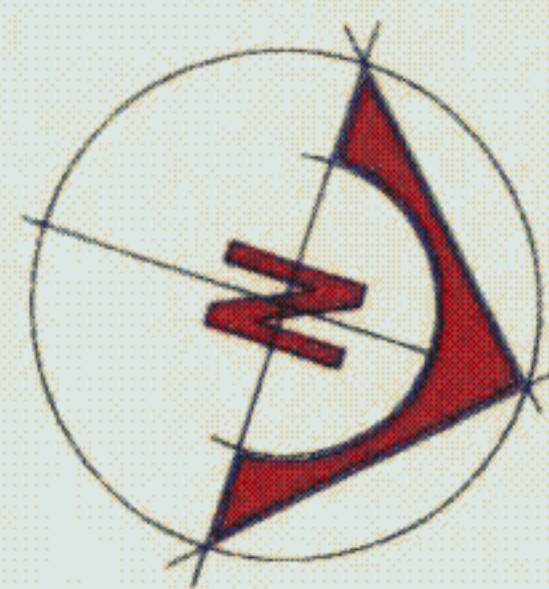
PROPOSED 15 No. APARTMENTS,
GARDEN HOUSE FARM,
TONGUE LANE, BUXTON,
DERBYSHIRE, SK17 7PA
PLANNING PROPOSAL
ELEVATIONS AND SECTIONS

Date: DECEMBER 2007
Sheet: A1
Scale: 1:100
Rev: A
Drawn: RG
2007-1523-02
1:100000 - 1:1000000

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DEMOLITION / SITE CLEARANCE WORKS
The existing farmhouse and associated farm buildings shown with a broken line are to be demolished and removed from site to enable redevelopment works to be undertaken.
Site clearance works including the removal of concrete, paths and greenhouses etc are not shown for clarity but are indicated on Keith Horan Associates, site survey plan.

PROPOSAL SCHEME
It is proposed to construct a 3 storey apartment building, comprising of 15 units per floor, ie 15 apartments.
For details of the building please refer to Sammons Architectural drawing numbers 2007-1523-01 and 02.

SITE ACCESS AND PARKING
The existing gated access from Tongue Lane, in the south east corner of the site is to be closed by extending the existing dry stone wall.
A new access is to be formed onto Tongue Lane in the north east corner which will comprise of a 5.0m wide access road, having 6.0m radius kerbs to the north and 4.0m radius kerbs to the south.
22 x 7.00m visibility sight lines are to be provided as indicated which will require the eastern dry stone wall to the site to be lowered to a height of 1.0m or less when measured from the new access drive.
The existing pavement serving Tongue Lane finishes where it abuts the site boundary. This is to be extended to meet the new access as shown.
All works are to meet with Derbyshire County Council Highway requirements.
22 parking spaces are to be created within the site with associated manoeuvring areas as shown.

PEDESTRIAN ACCESS
A pedestrian access onto Victoria Park Road is to be created through the built up former gateway as indicated to provide an easy access route to the local shops etc.

BOUNDARY TREATMENTS
The existing dry stone walls to the north, east and southern boundaries are to be made good as is found necessary including building up openings where the wall is missing, ie where buildings are to be removed, gateways built up etc.
To the western boundary where the farmhouse is to be removed the entire boundary shall be defined with a 1.5m high timber close boarded fence over a 300mm gravel board between concrete posts.

LANDSCAPING
A scheme for both hard and soft landscaping is to be submitted at a later date should the scheme meet with a favourable planning decision, but shall generally include the following:-
Paths and amenity space - sand faced paving slabs
Roads - tarmac with white thermoplastic paint parking bay demarcation
Planting - areas covered with dotted hatch are to be planted out to a scheme to be agreed including the occasional tree.

BIN STORE
A compound is to be created to house 3 no. 1100 litre wheeled bins as shown.
The compound is to be enclosed by a 1.2m high hit and miss timber fence, comprising 100x100mm timber posts with 100x20mm horizontal rails between to which 100x20mm timber boards are to be fixed.
Timbers are to be stained to approval of the local authority.

CYCLE SHELTER
A covered shelter is to be provided as shown to accommodate a minimum 3 no. cycles. Details of the shelter shall be submitted at a later date.

AMENITY SPACE
An area is to be created as shown where rotary washing lines and benches etc can be sited for use by the residents.

Equity Housing Group

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DERBYSHIRE, SK17 7PA
PLANNING PROPOSAL
SITE PLAN

Date: DECEMBER 2007
Sheet: A1
Scale: 1:200
Ref: 2007-1523-03
Rev: RG

A - REVISIONS - PLAN UPDATED FOR PLANNING SUBMISSION

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