

GENERAL NOTES:

DO NOT SCALE OFF THIS DRAWING - ALL DIMENSIONS MUST BE CHECKED ON SITE.

FOUNDATIONS: Three no. pad foundations laid as 700x700x300 thick bases beneath proposed piers. To take out eccentricity of loading a strip foundation is to be introduced between front pads - footing to be 600x300 / 2.4m reinforced with 3 no. T16 bars top, middle and bottom with links at 200mm c/c. Rear pad to be positioned symmetrically under new 225x225 pier and taken below existing footings. 1st floor beam support to inner leaf above 152x89 R.S.J. on 225x225x150 deep padstones on 225x225 pier to rear and 225x225 piers to front. 1st floor beams across frontage 2 no. 152x89 R.S.J. on 275x225x150 deep padstones on 275x225 brick piers.

WALLING: 110 mm matching facing brick to outer leaf 50 mm cavity 125 mm 700x300 block inner leaf fixed with 5 no. galv wall ties / m² horizontal d.p.c. installed to piers at ground level. Cavities to be sealed at top with non combustible material. Vertical and horizontal d.p.c.'s to be provided to all new cavity closures and cavities to be maintained with existing construction. All new brickwork to be finished to match existing brickwork. Internal brickwork to be finished with 2 coat plaster skim & 2nd screeding board.

FLOOR CONSTRUCTION: 125x25 T & G floor boards on 225x50 mm joists at 400mm c/c on 9mm plaster board & skim finish. All timber joists to be treated with preservative prior to fixing.

ROOF CONSTRUCTION: Roof tiles to match existing nailed to 50x25 mm battens of good quality tanbark rafters laid on 200 mm pitch roof crosses designed and furnished in accordance with British Standard code of practice requirements. The building regulations and recommendations of (C.I.T. P.A.). Trusses fixed to a 100x25 mm timber wall plate with span strapped to brickwork at 1200 mm c/c using 38x6 mm mild steel straps. Trusses to be spaced at 450 mm c/c with 150 mm fibreglass quilt insulation laid between on a mm plaster board & skim finish. 250x25 mm fascia and 250x8 mm ply soffit with soft vents at 1000 mm c/c. Additional air bricks / ridge vents to be provided if necessary. Rainwater to discharge via a 100 mm P.V.C. square section gutter and 75 mm 3/4" sec. P.V.C. rainwater pipe into existing trapped gully to rear elevation and new trapped gully to front.

DRAINAGE: Existing separate system drainage with new trapped gully provided to R.W.P. discharge to front down as marked on plan. Bathroom soil & waste piped to discharge via existing 100 mm single stack system with anti-vac traps fitted to bath & basin wastes.

STRUCTURAL DETAILS: Where alterations are carried out to existing structures, such alterations are to be properly bonded by the use of materials similar to the existing construction. Cast-in-place concrete to be used over all new openings in accordance with manufacturers' specifications. Floor joists adjacent to external walls to have galvanised metal anchors - minimum cross section 30 mm x 50 mm driven into brickwork & notched and nailed into 2 no. joists at 2 mtr c/c.

GENERAL DETAILS: Bathroom window bottom height to be minimum 1050 mm above floor level. New windows to match existing with obscure glass to bathroom. All new studwork to be 75x50 mm studwork with 13 mm plasterboard and skim finish to both sides. All structural steelwork to be encased in 2 layers of 13 mm plasterboard and skim finish. All new windows to open a minimum of 1/20th of the floor area to the room they serve. The opening light must have some part which is not less than 1750 mm above finished floor level. All exposed external timber to be treated with preservative prior to fixing.

BATHROOM DETAILS: 1700 mm bath/shower pedestal with hand basin & low level drain. Suite consisting 100 mm soil & vent pipe (single stack system) 38 mm waste pipe to bath 32 mm waste pipe to w.c. basin, both fitted with anti-vac traps.

SUNBAY DETAILS: Radiators to be fitted to bedroom & bathroom as extension to existing heating system. All electrical work to be carried out in accordance with latest edition of I.E.E. Regs. Drainage runs shown are assumed lines, builder must ascertain correct drainage location on site.

AMENDMENTS:-

HIGH PEAR
BOROUGH COUNCIL
15 OCT 2007
GLOSSOP
RECEPTION

**PROPOSED BEDROOM /
BATHROOM EXTENSION &
CONSERVATORY AT:**

1. GORSE WAY, SHIREBROOK

PARK GLOSSOP for:

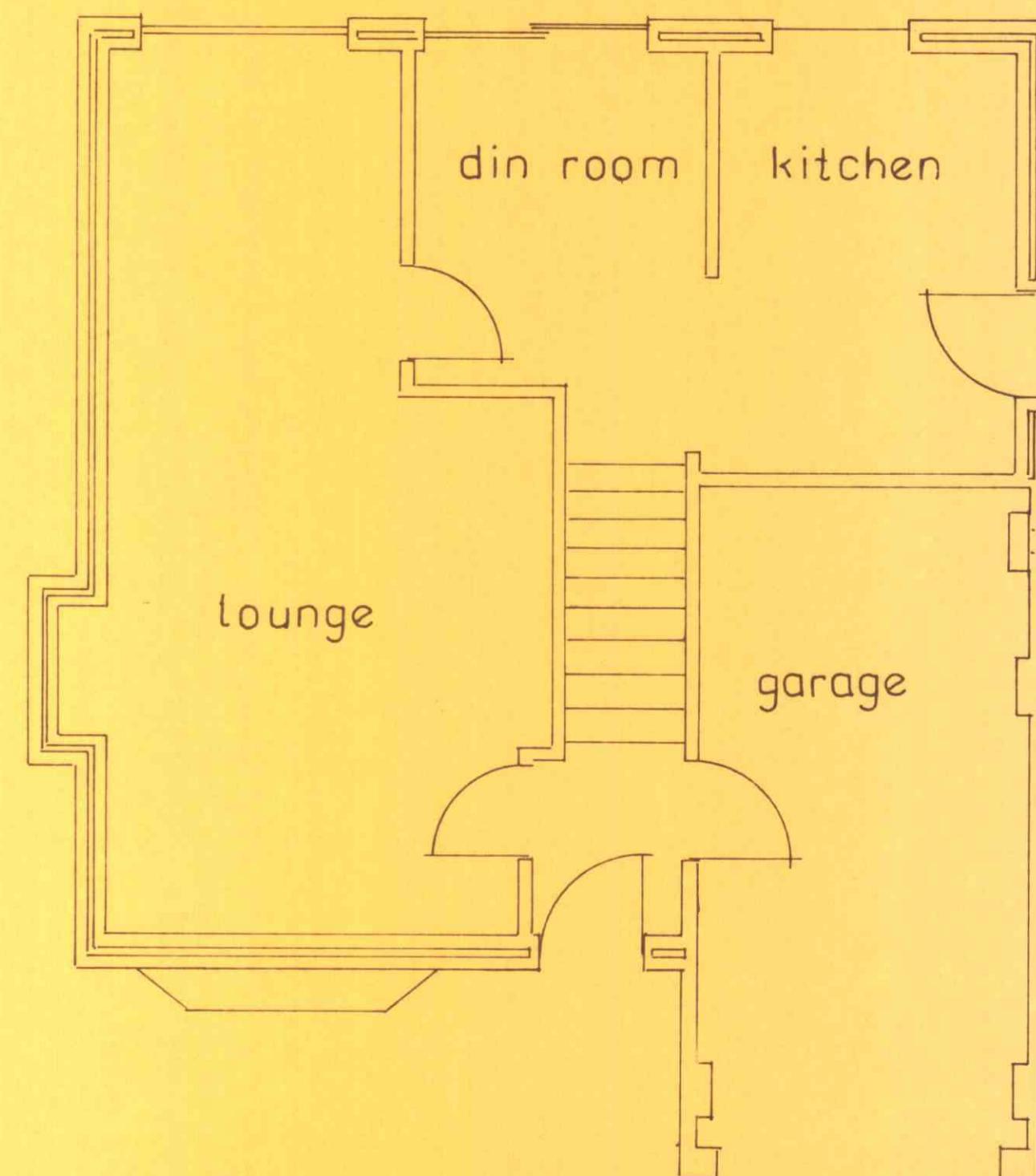
Mr & Mrs D ASHWORTH

DATE. 12 2 1991

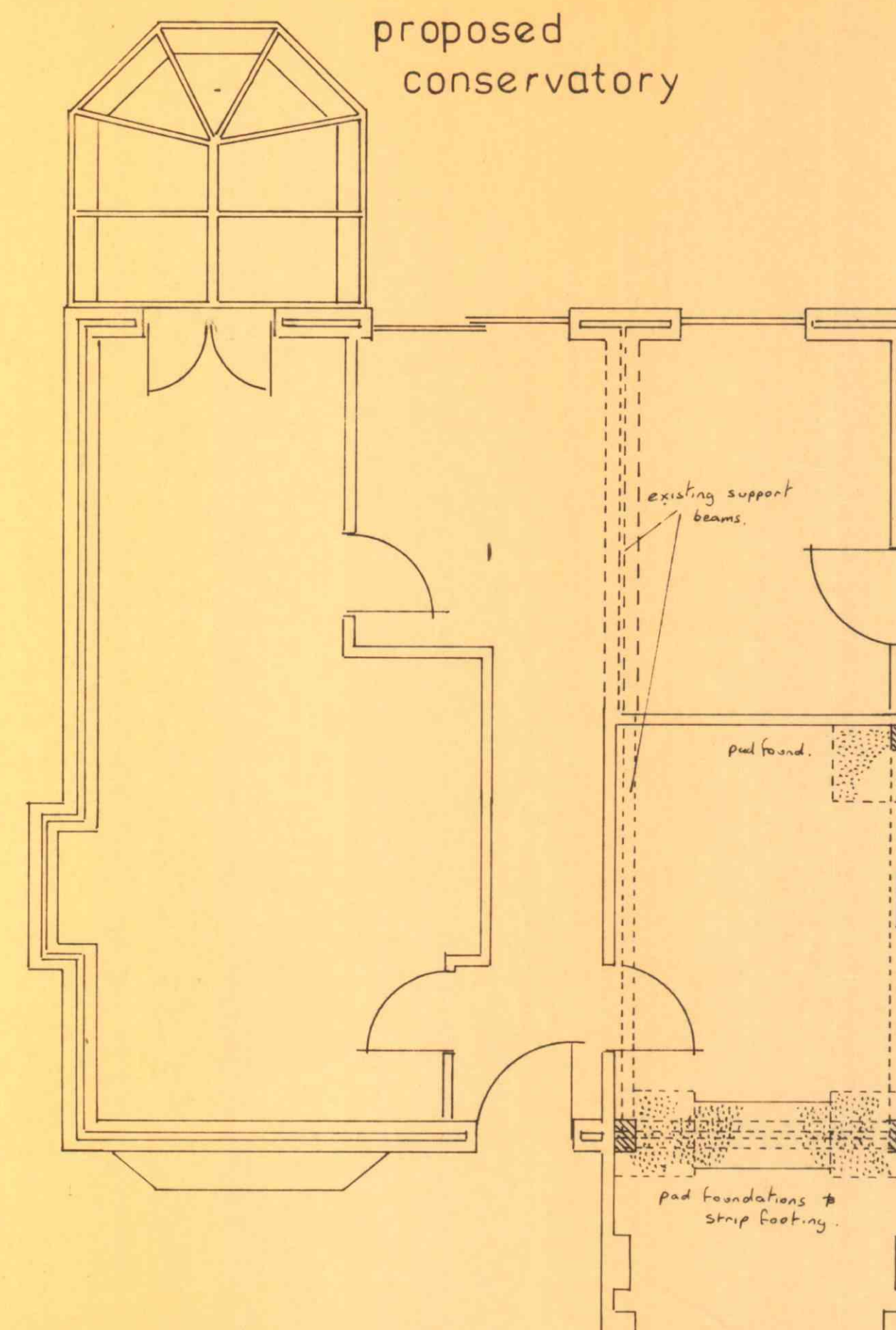
SCALE. 1 : 50

PLAN No. 2137 D

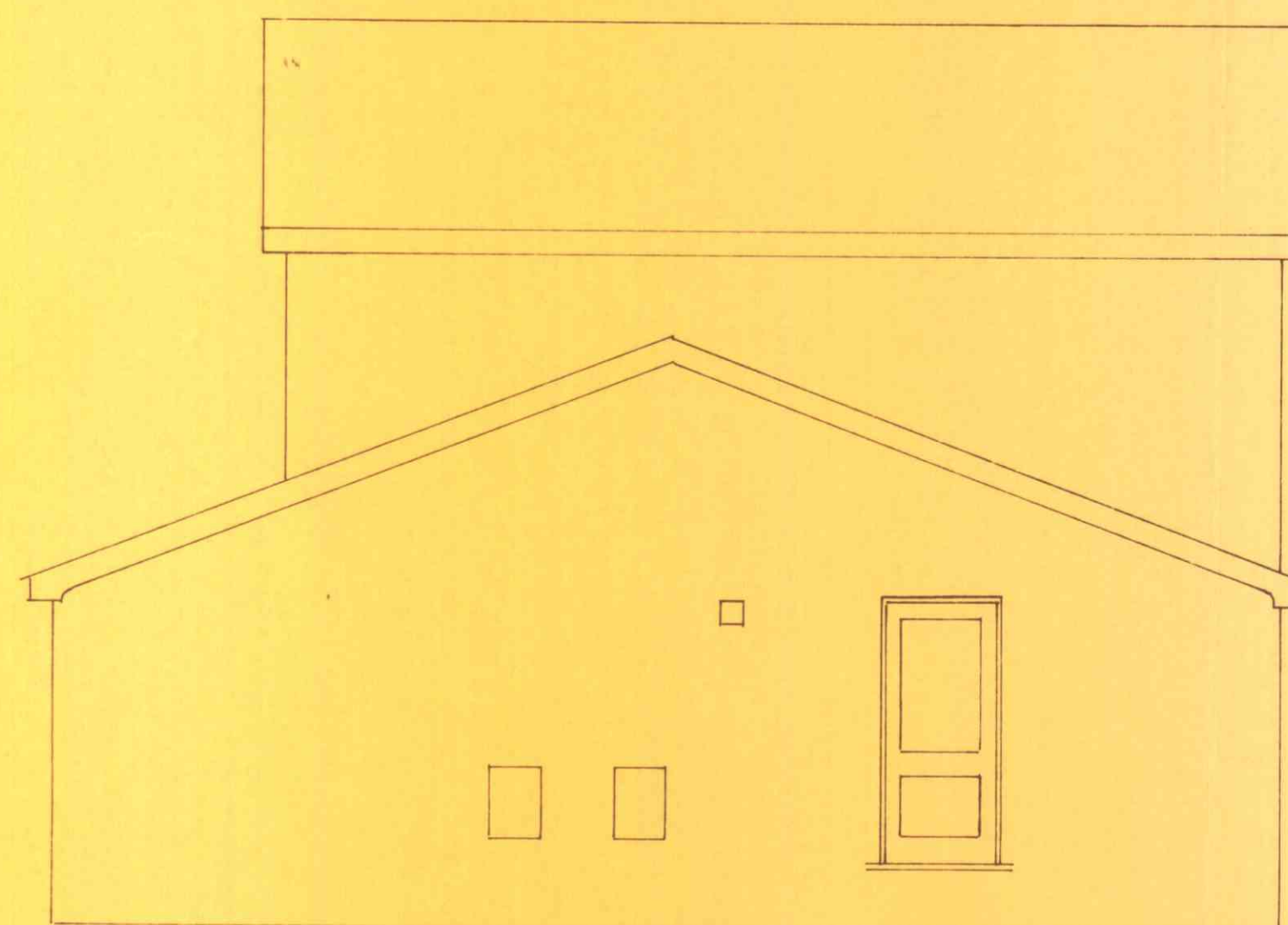
drawn by D Mayer DENBURY



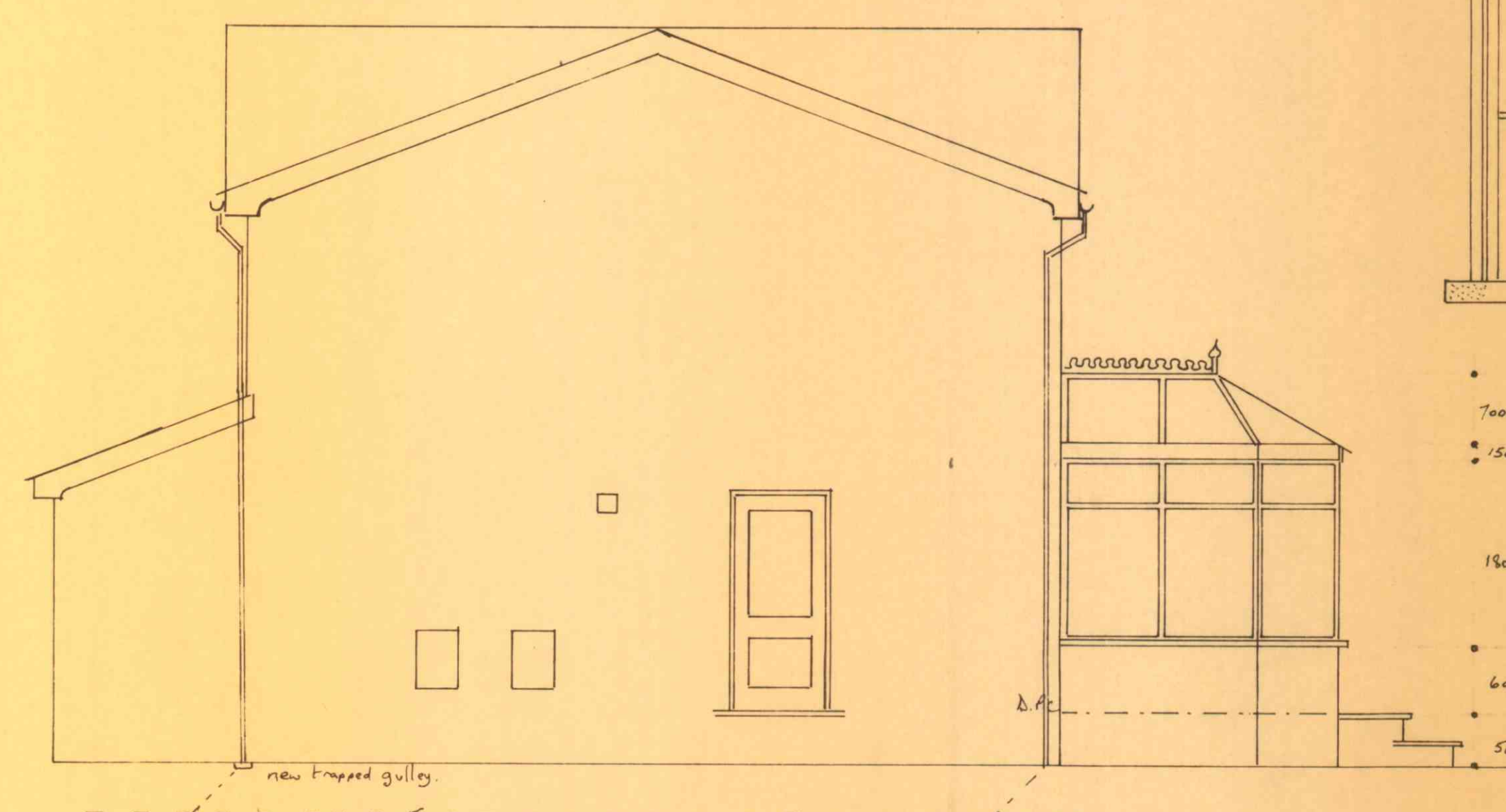
existing ground floor plan



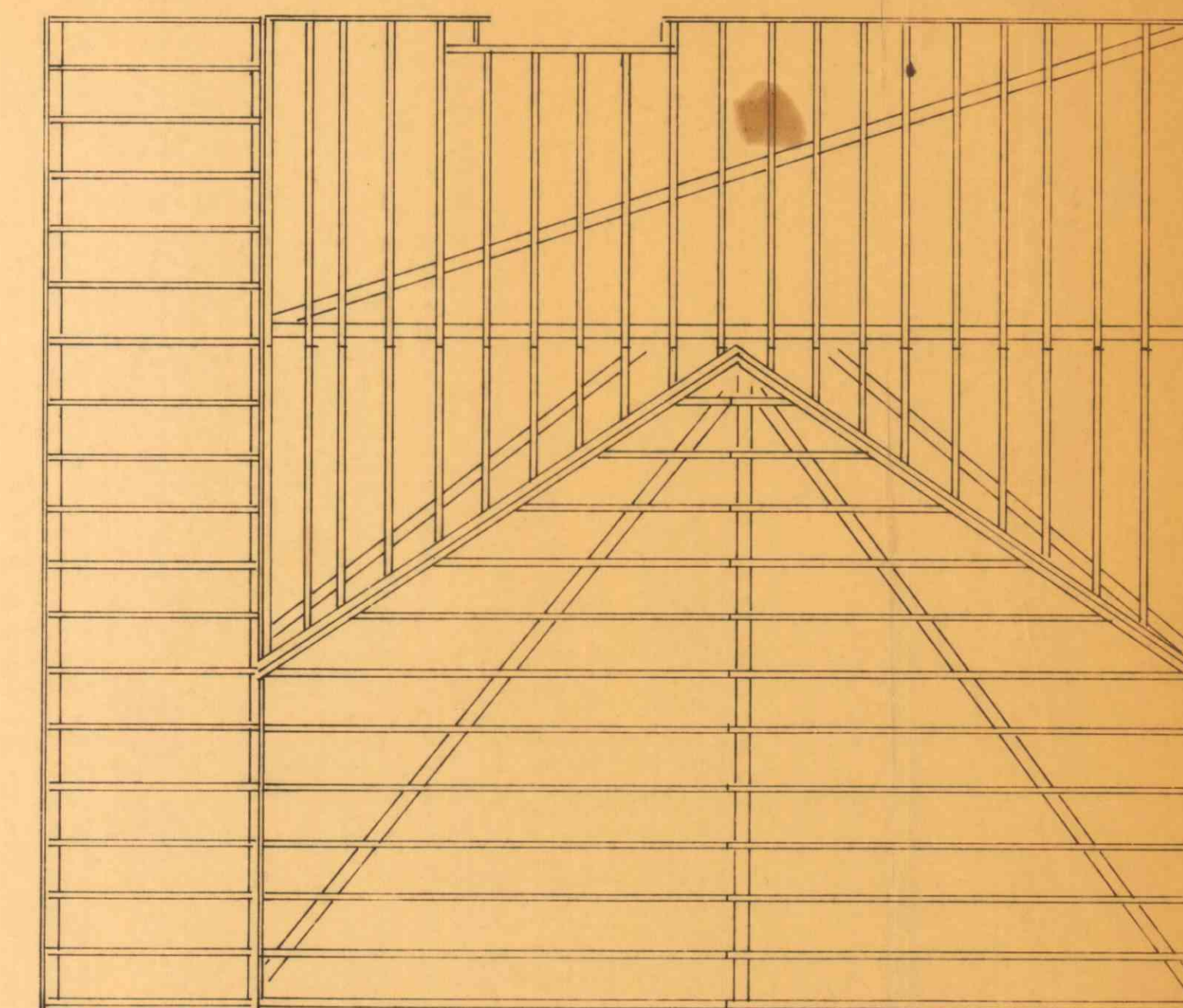
proposed ground floor plan



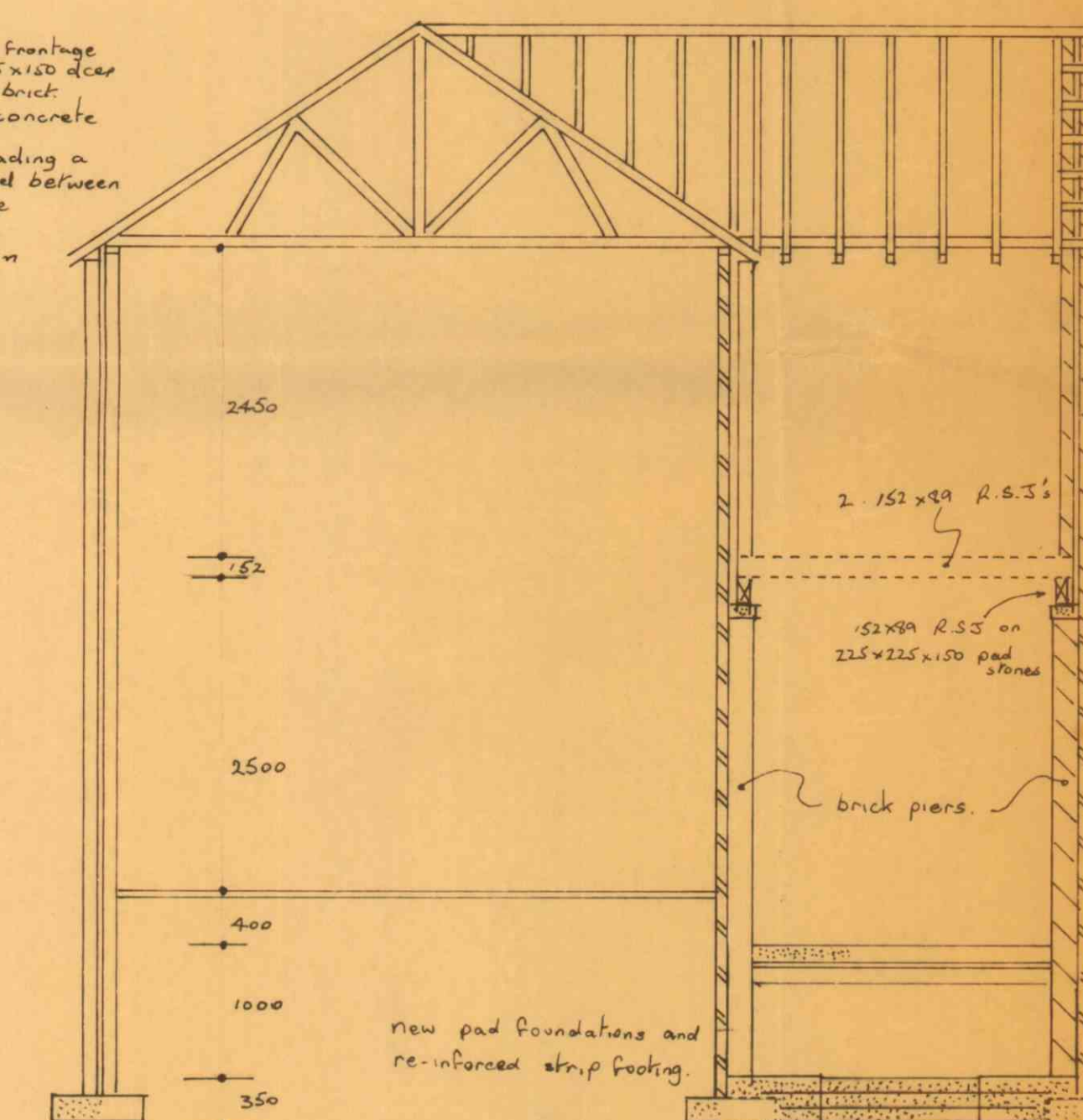
existing side elevation right



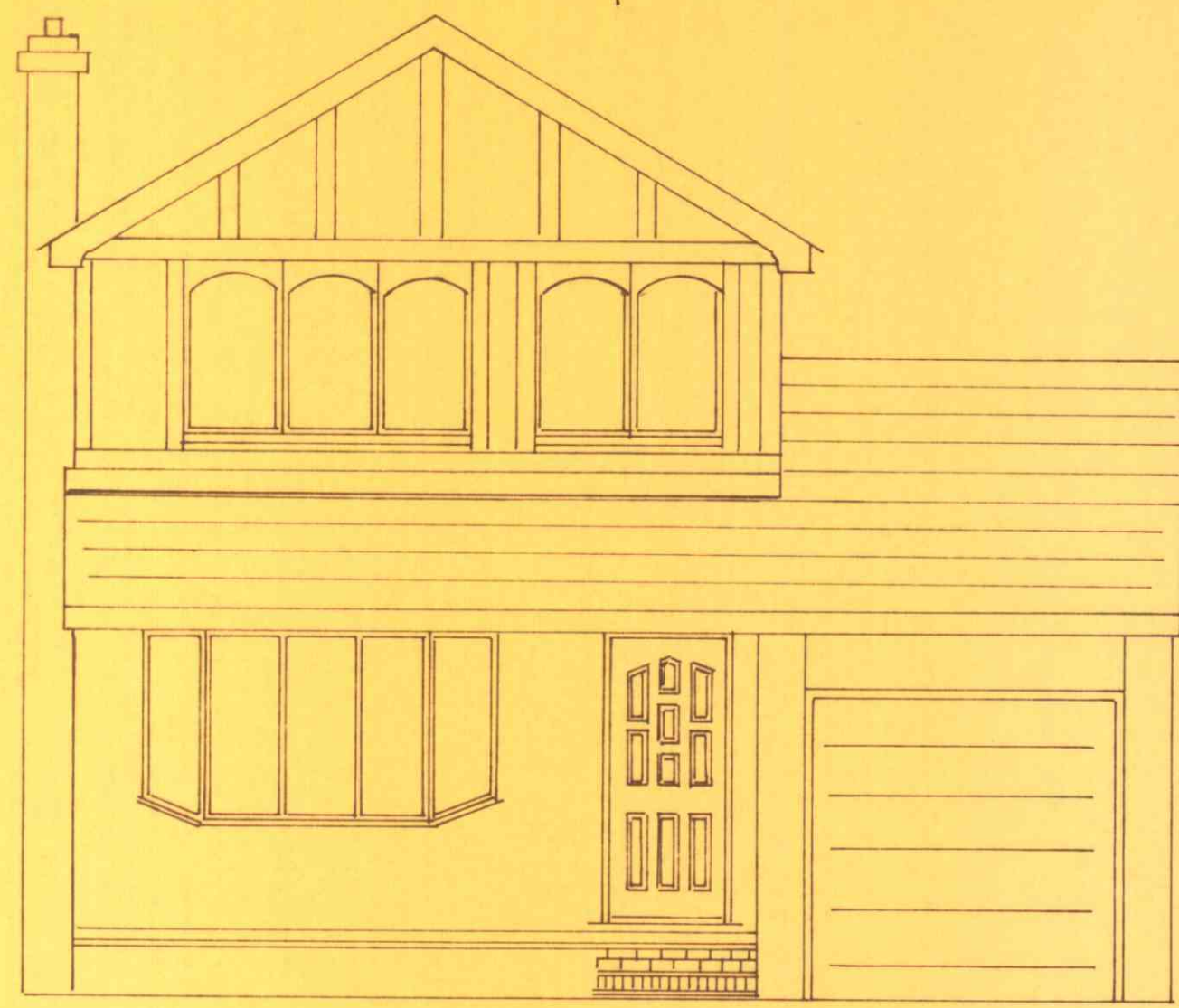
proposed side elevation right



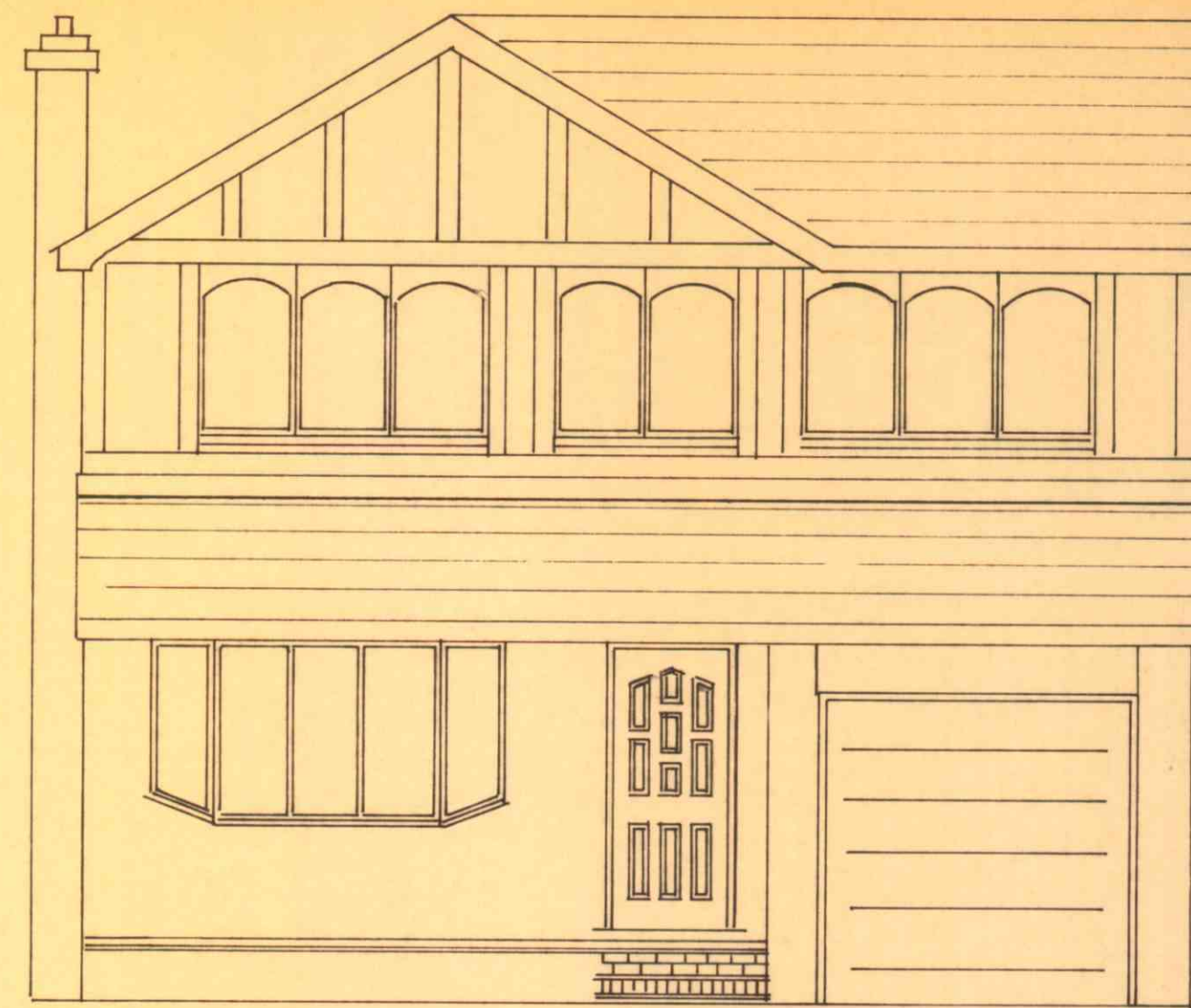
roof detail



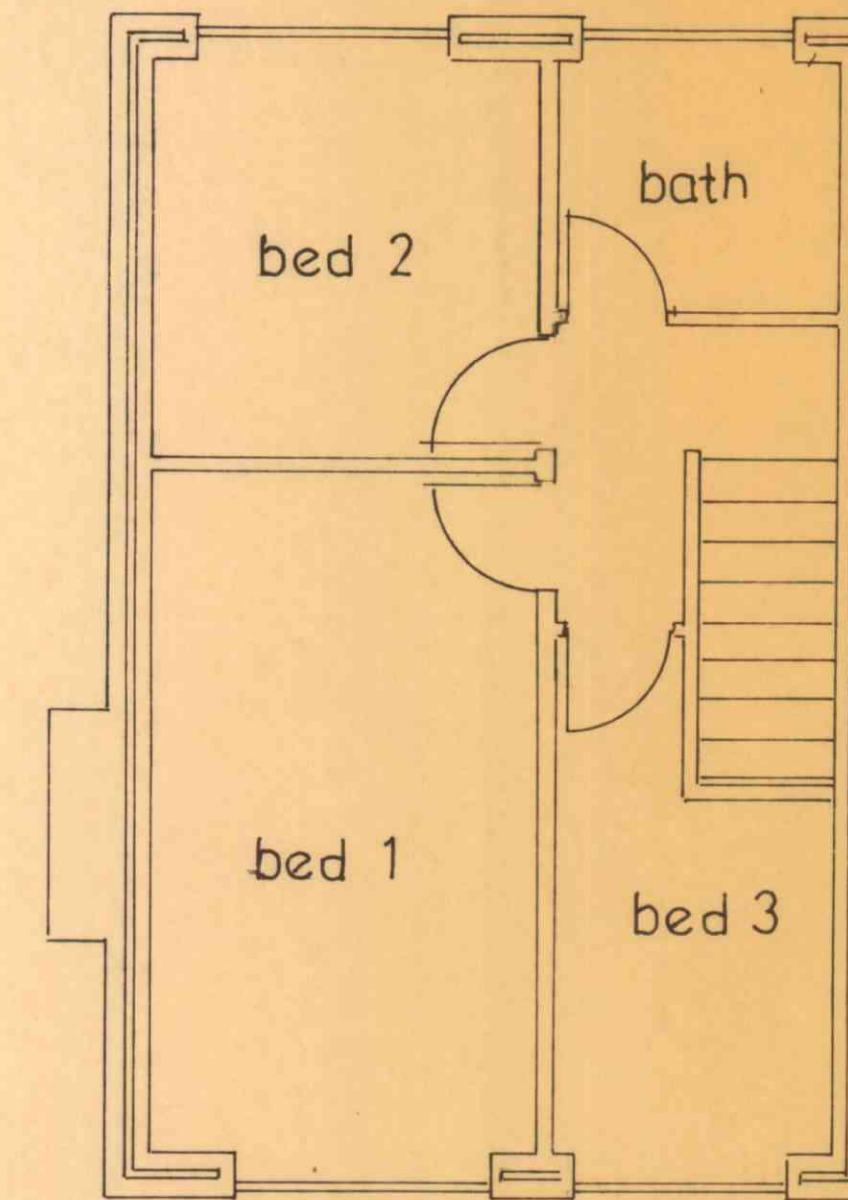
section through 'B' 'B'



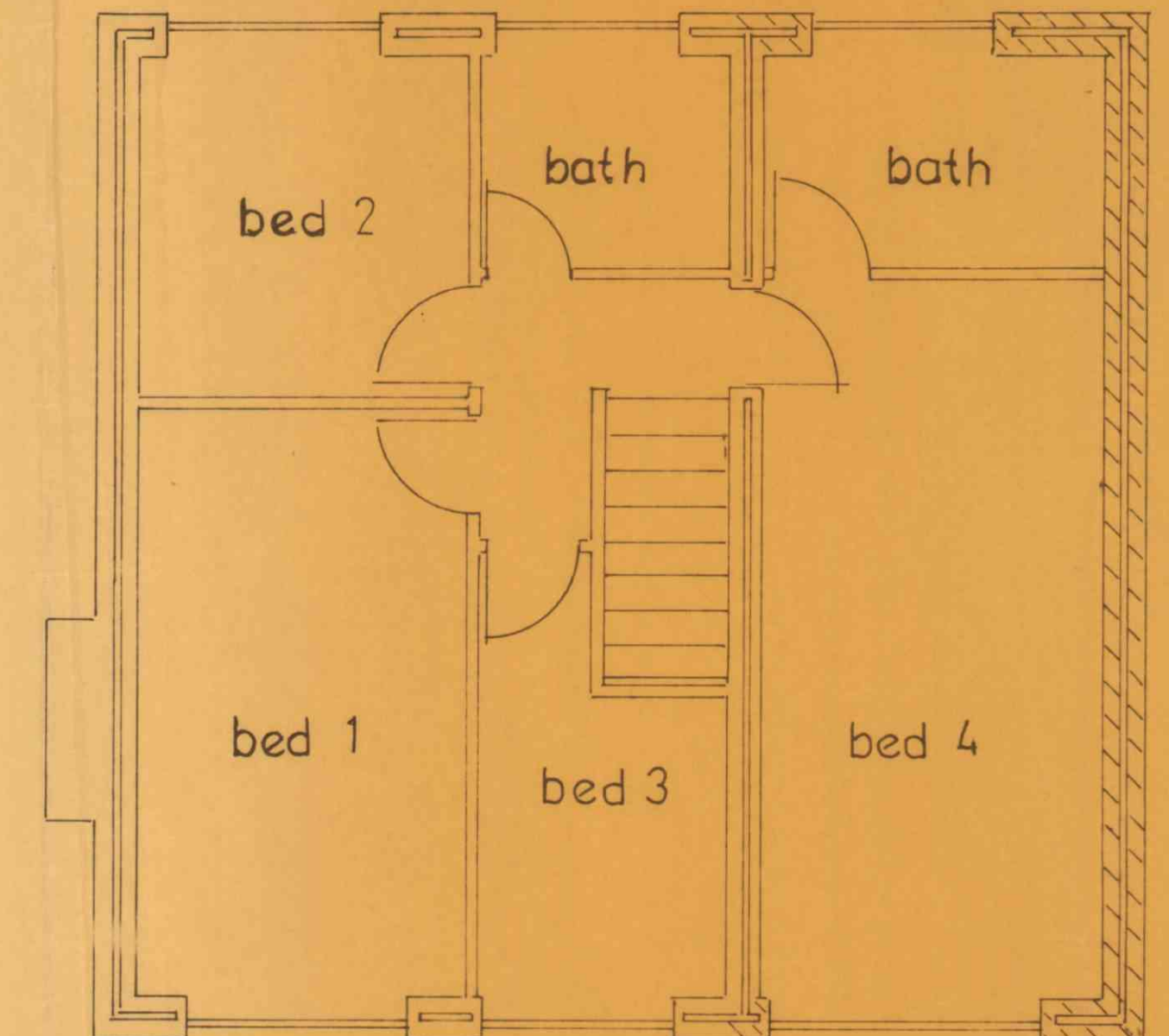
existing front elevation



proposed front elevation



existing first floor plan



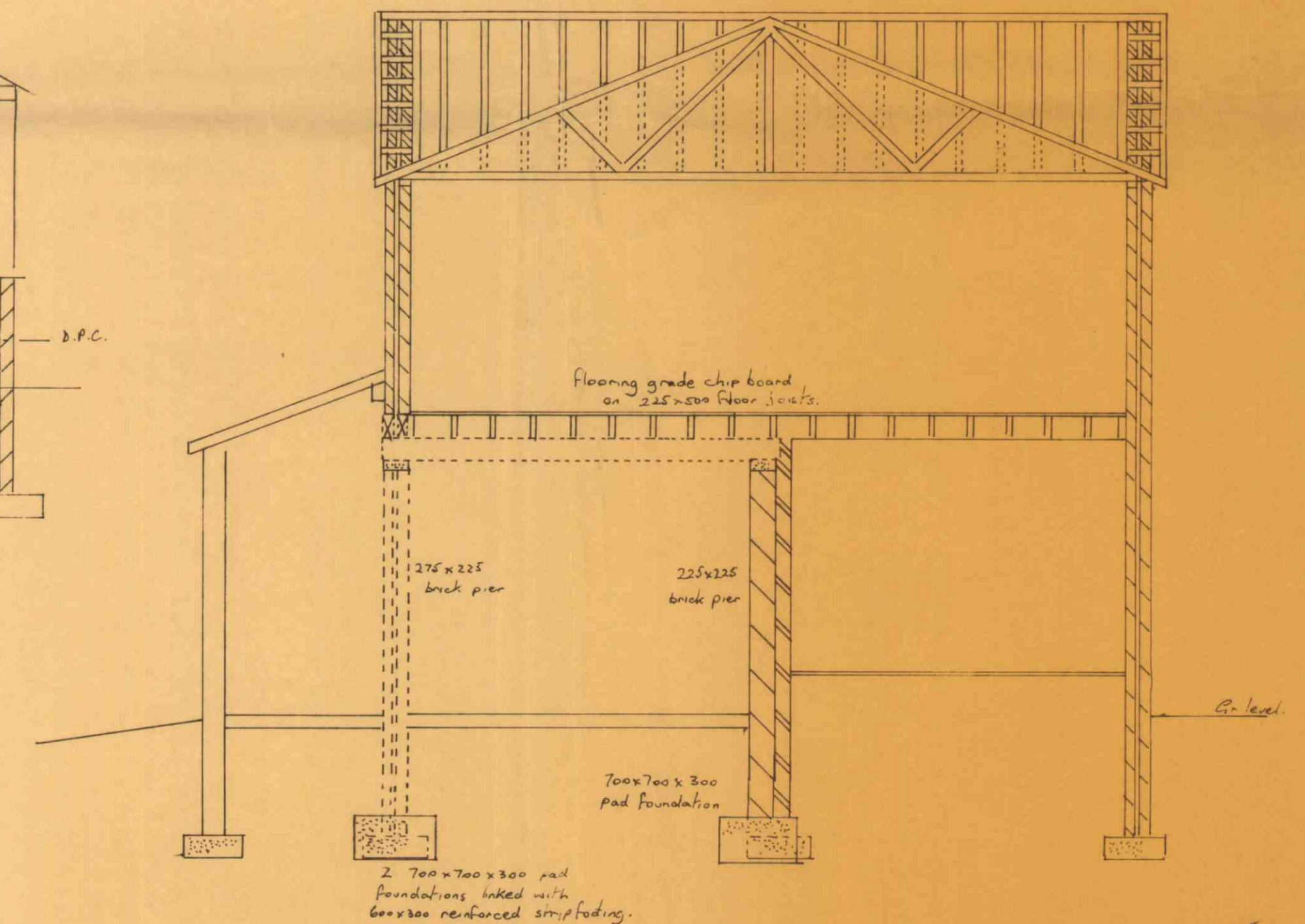
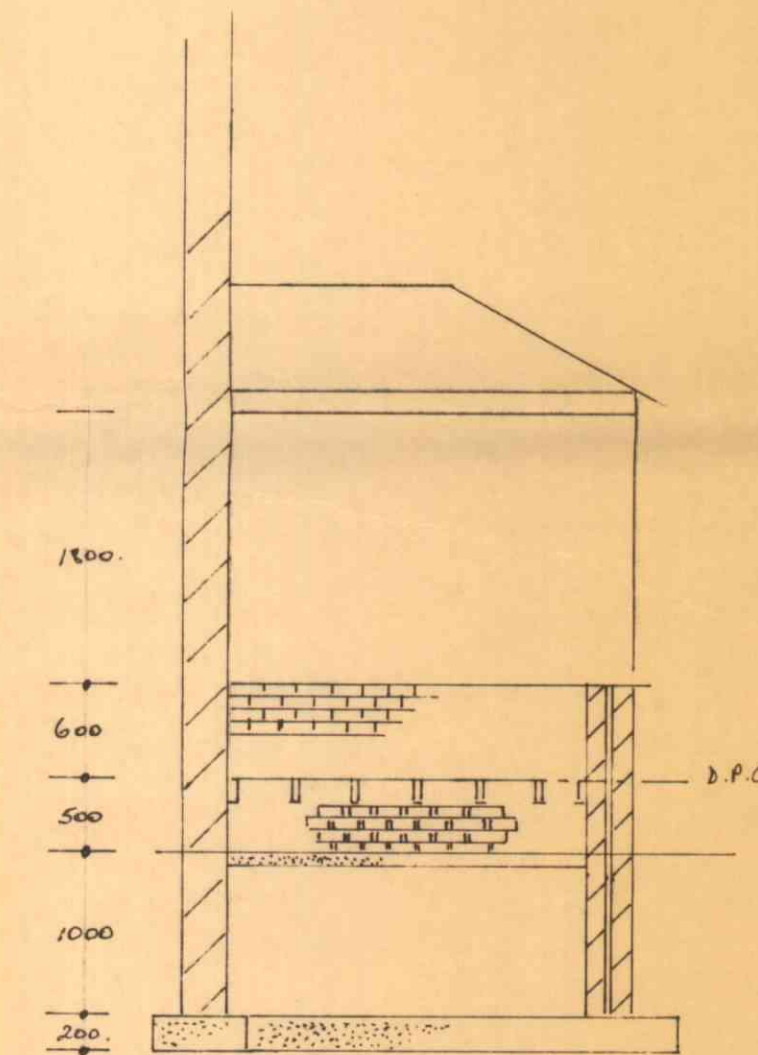
proposed first floor plan



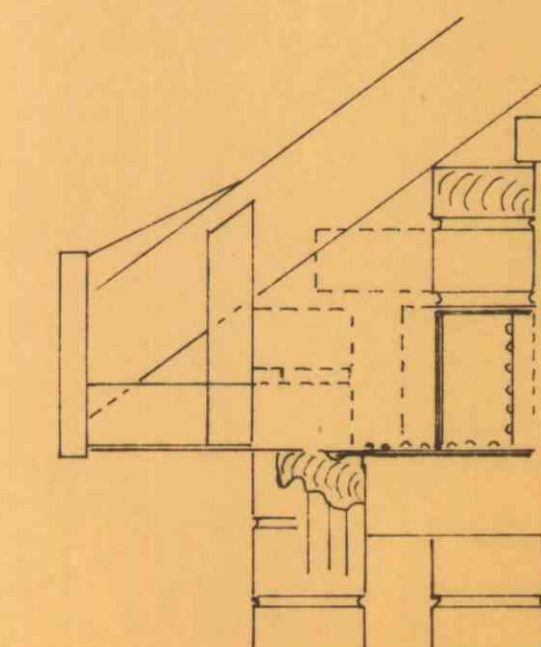
existing rear elevation



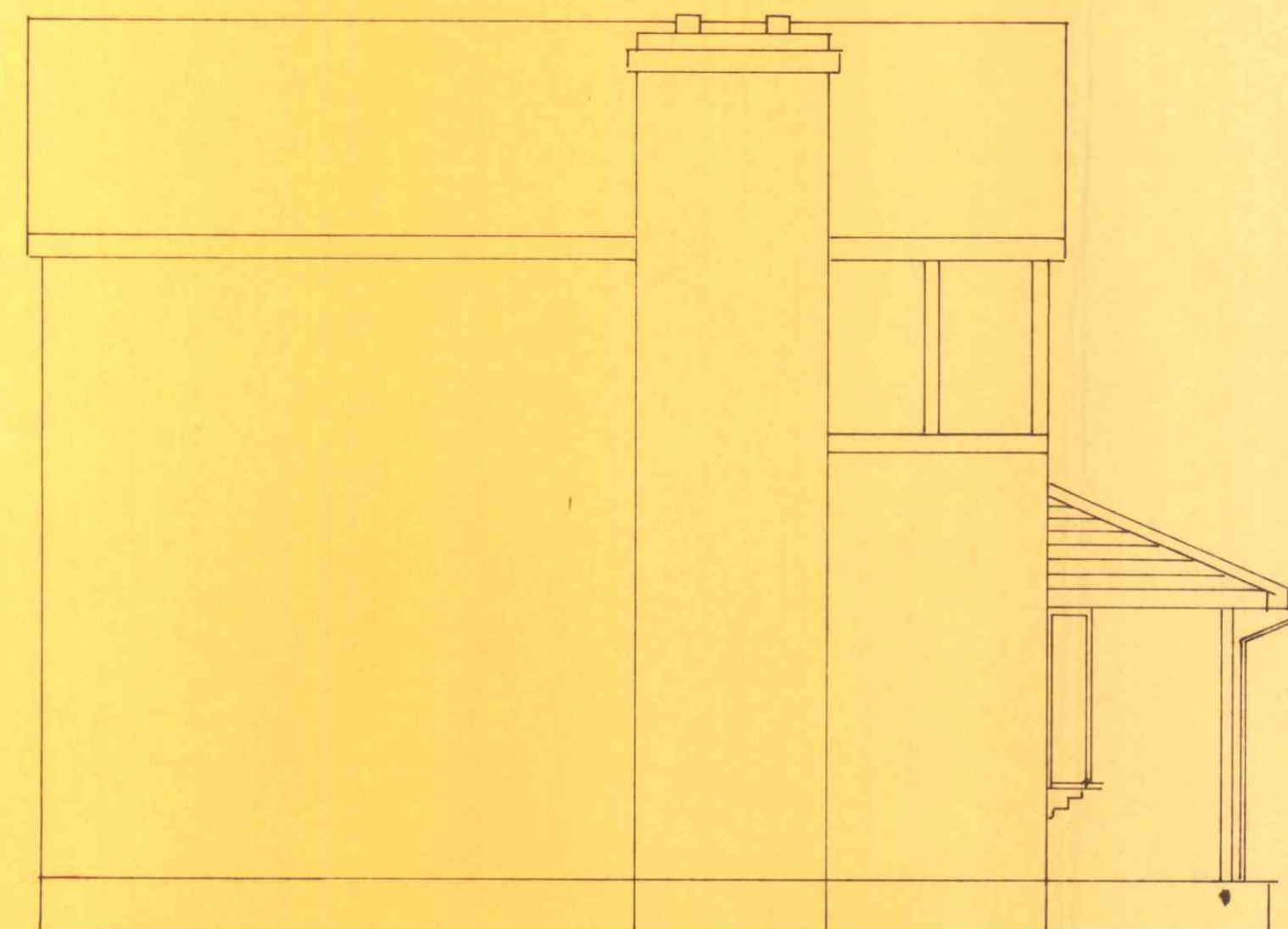
proposed rear elevation



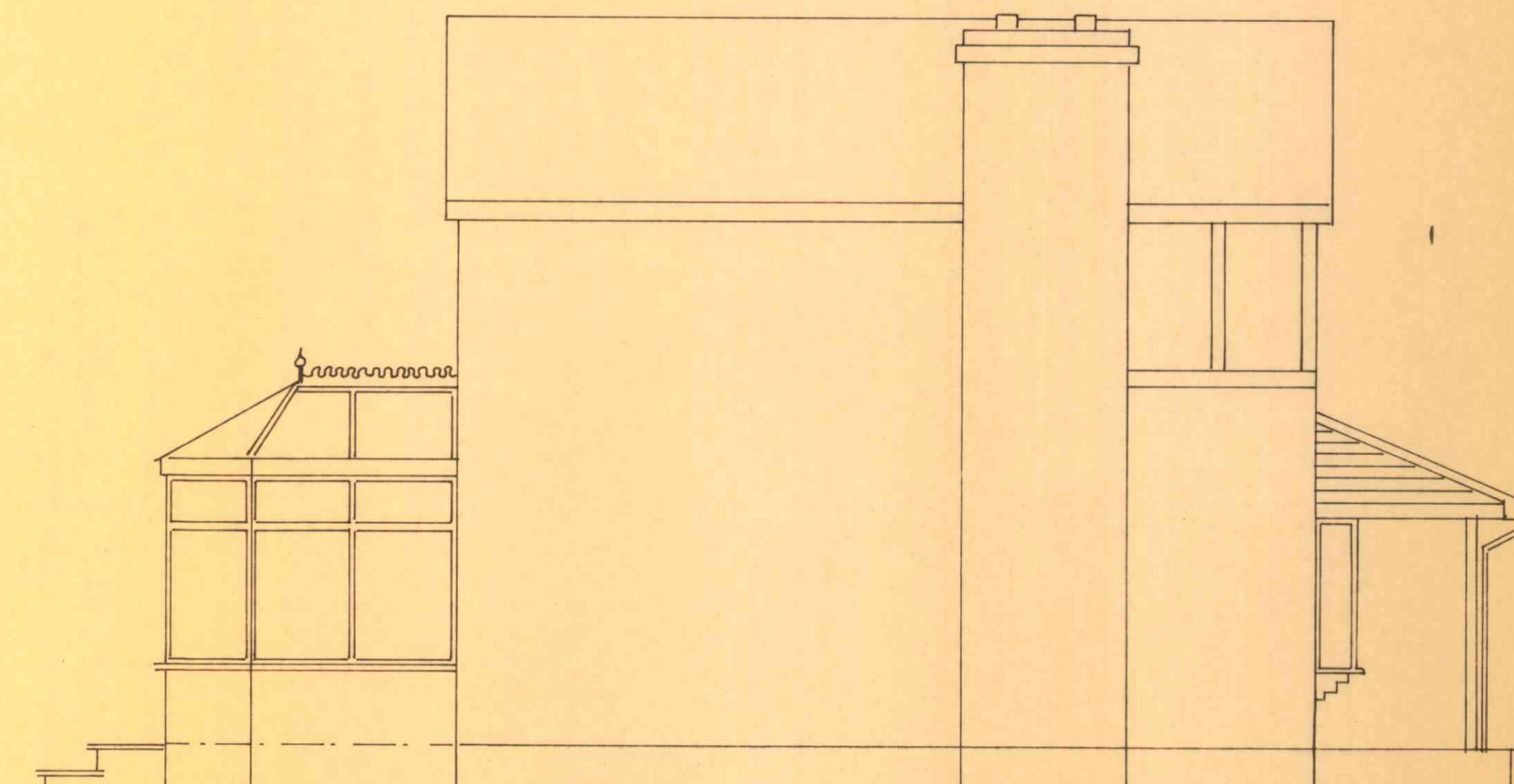
section through "A" "A"



Section detail - lintels over window openings at eaves.



existing side elevation left



proposed side elevation left

HIGH PEAK BOROUGH COUNCIL
GLASGOW SITE
RECEIVED
15 OCT 2007
FILE REF
REPLY REQUIRED