

The Haugh, Buxworth

SW037-PL06 – Heritage, Design & Access Statement

INTRODUCTION

This statement has been prepared by SlaterWilde Ltd to support the application made on behalf of Mrs A Longdon for a Householder Planning and Listed building Consent permission for proposed works at The Haugh, Dolly Lane, Buxworth, comprising of a single storey extension to form a new kitchen/dining area and rear porch.

SITE AND CONTEXT

The site is situated off a track from Dolly Lane, Buxworth. The farmhouse forms part of a collection of buildings in the applicants ownership, a Grade II listed 17th/18th Century Barn to its West and a further Grade II listed late 18th Century barn to its North. With further residential conversions forming part of a cluster to the North. The farmhouse has a direct North/South orientation and overlooks open views to its East, South and West orientations. The farmhouse is constructed of gritstone with a slate roof and is robust in nature with little ornamentation. The proposed garden room extension will sit on a piece of land currently used as a lawn to the East. This area is enclosed by two small outbuildings and the dwellings boundary wall and is not in direct relationship with either of the surrounding Listed barns.

LAYOUT, SCALE AND APPEARANCE

The proposal involves the erection of a single storey, pitched structure to the North East of the farm house providing extra family space to the house. The proposal has a simple layout connecting the new space onto the existing dining room with a rear connection porch allowing connection to the utility door and rear out buildings. It takes a recessed position on site so it does not compete with the front elevation of the farm house or that of the projected Listed West Barn. With its glazed front elevation the open views are maintained. Its rear form provides protection and encloses the functional rear yard. The lower lean to, flat roofed porch provides access whilst not effecting the existing long picture side window.

Its material palette has been kept simple and mimics that of the farmhouse itself. The front elevation is fully glazed, with the utilization of sliding doors allowing maintained views and the opening up of the space in summer. The roof utilizes slate and the whole thing is grounded by a stone enclosure walls. The access from the farmhouse is kept simple with a stone fronted connection, this also forms a porch to the rear yard which will be clad in vertically painted timber boards to reflect the functionality of the outbuildings.

LANDSCAPING AND ACCESS

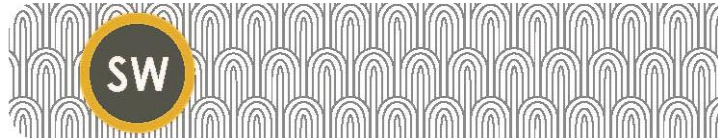
Several trees and shrubs are located around the perimeter of the site with one small holly tree located within the line of development. It is proposed to remove this tree. By and large the landscaping will remain as is. Level access is provided from the South sliding doors. Access from the utility door is from the rear access corridor utilizing the stepped rear door approach.



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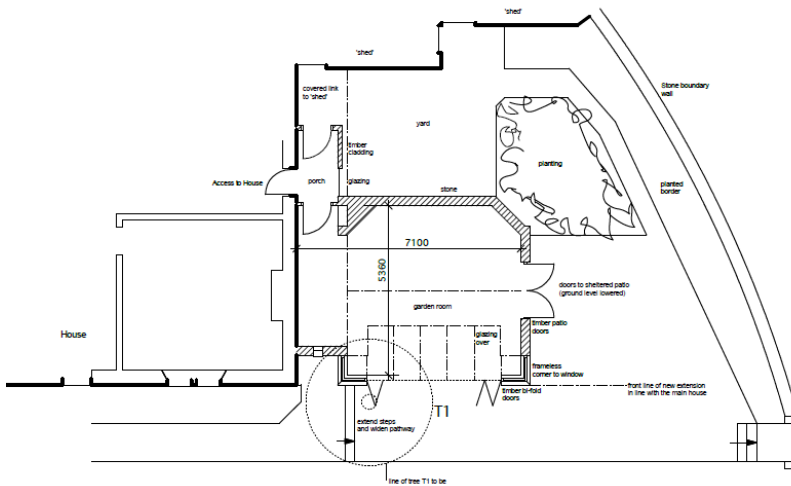
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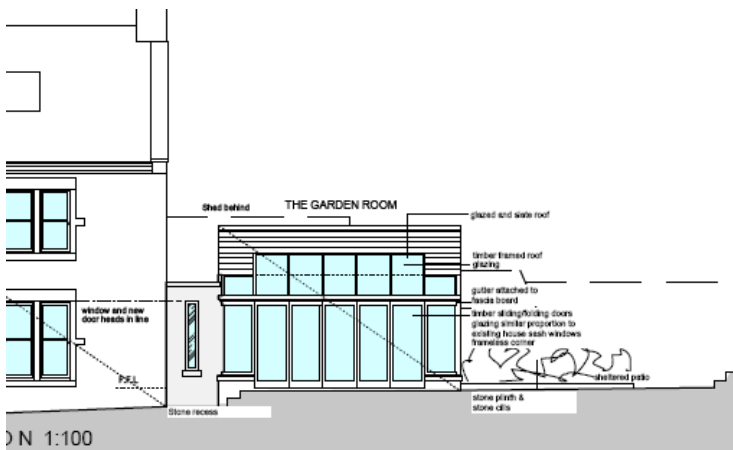


PLANNING HISTORY

A planning permission was granted in 2011 (HPK/2011/0525) for a similar single storey extension to the same location and with the same scale as the proposed. The clients wish to simplify the extant permissions elevational treatment to be more in keeping with the traditional existing house has been carried out within this application.



Approved Scheme HPK/2011/0525 - Proposed Plan



Approved Scheme HPK/2011/0525 - Proposed Elevation

IMPACT

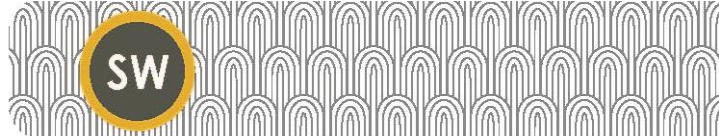
By its proposed location the scheme does not have an impact on the Listed buildings that surround the existing farmhouse and has been designed to be simple in form to reflect the minimal facade of the farmhouse itself.



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CONCLUSION

The applicant aims to achieve a high standard of extension, proposing a design of a very high quality both internally and externally, that contributes not only to the general appearance and character of the existing building but that of its setting.

The proposals put forward have been carefully considered to provide and maximize the potential of the property for the family. Materials have been used to match the existing architectural style of not only the dwelling but that of its local context. We therefore feel the scale, design and location of the proposal does not affect the amenity of the adjacent occupiers, the character and appearance of the host building or does not have any detrimental effect on the cluster of listed buildings that surround it.

The new application retains the same scale, proportion and appearance as the previous approval.

The following considerations have been taken into account when preparing the proposals.

- The design and conversion have been sensitively detailed to adhere to the Councils Local Plan Policy so that the extension retains and respects the character and physical nature of the host building and the surrounding environment.
- The site has been assessed with design in mind, and so a comprehensive scheme has been devised in the interests of the applicants and the appropriateness of the conversion. Matters of scale, design and layout have been tailored to be in keeping with the surrounding area.
- The careful positioning of the new extension will ensure it has little visual impact beyond what is already there and its restrained scale and architecture will ensure it does not detract from the listed buildings that surround the house.
- All the materials used will be locally sourced and in keeping.

May 18



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