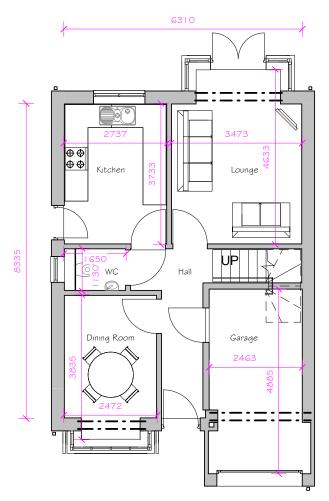


FRONT ELEVATION OVERVIEW

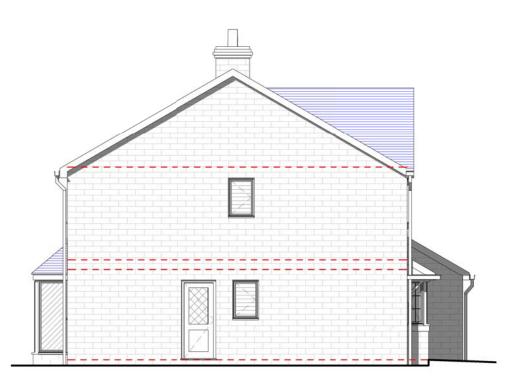


GROUND FLOOR PLAN OVERVIEW

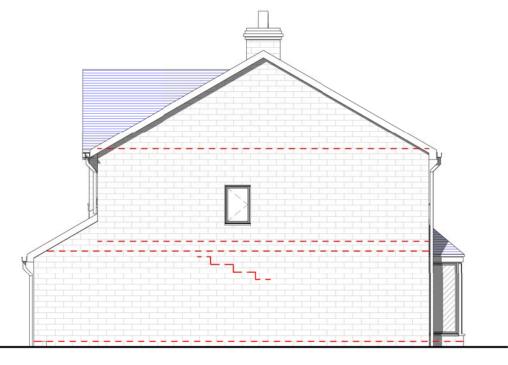
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REAR ELEVATION OVERVIEW



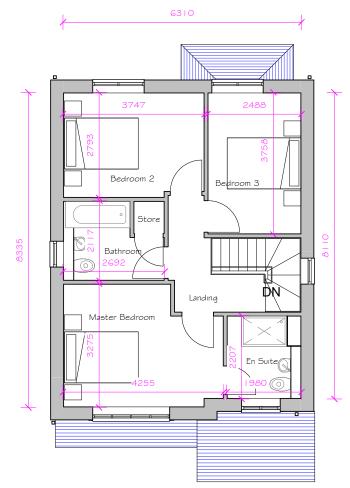
LEFT SIDE ELEVATION OVERVIEW I : 100



RIGHT SIDE ELEVATION OVERVIEW

| AREA SCHEDULE (Gross Internal Area) | | | | | | |
|-------------------------------------|-------|-----------|--------------|--|--|--|
| Area | | Area | | | | |
| reference | Level | Sq.m | Area Sq.ft | | | |
| Ground Floor | GF | 46.494 m² | 500.460 ft² | | | |
| First Floor | FST | 52.017 m² | 559.909 ft² | | | |
| | | 98.512 m² | 1060.370 ft² | | | |

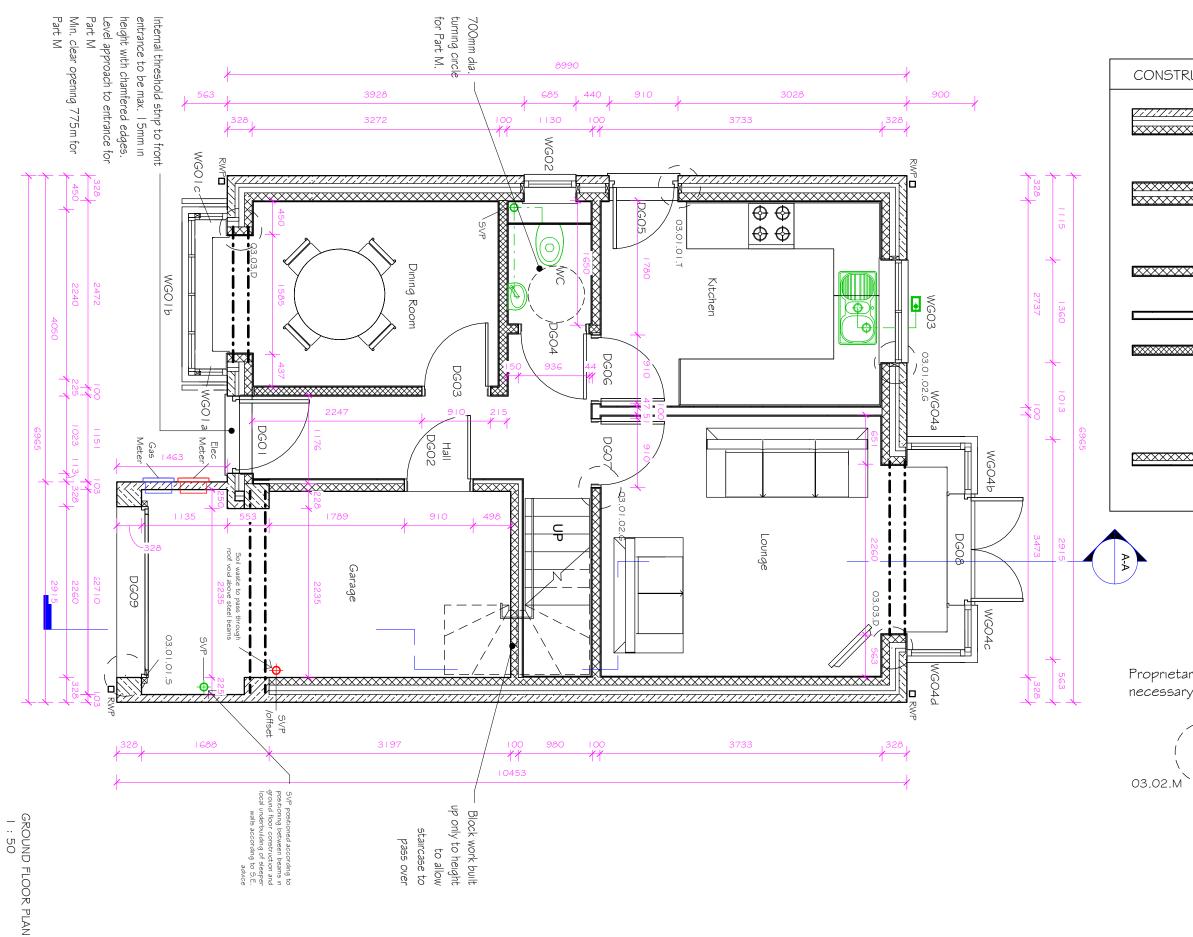
| Seddon Homes | Drawing Title Denholme House Type | Date 08/06/ | | Construction | Millson Assoc |
|---|--------------------------------------|-------------------------|-------------|---------------------|-------------------------------|
| Birchwood One Business Park, Dewhurst Road, | Plans and Elevations Overview | Drawn CS | Checked | | Byron House, Manchester, I |
| Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk | Project Title | Scale 1:100 Revision | | A3 rawing Number | info@millsona |
| E: sales@seddonhomes.co.uk Registered in England No 305309 | | G 25/04/17 | 1968-DEN-01 | | www.millsona |



FIRST FLOOR PLAN OVERVIEW

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| Seddon Homes | Drawing Title | Date | 08/06/1 | 5 Status | Construction | Millson Associ |
|--|---|----------------------|---------|----------|----------------------|--|
| | Denholme House Type | Drawn | CS | Checked | RB | Bvron House. |
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client | Ground Floor Plan Project Title Long Lane, Chapel-en-le-Frith | Scale Revisi G | 1 : 50 | Size | A3 Drawing Number | Manchester, Manche |

CONSTRUCTION

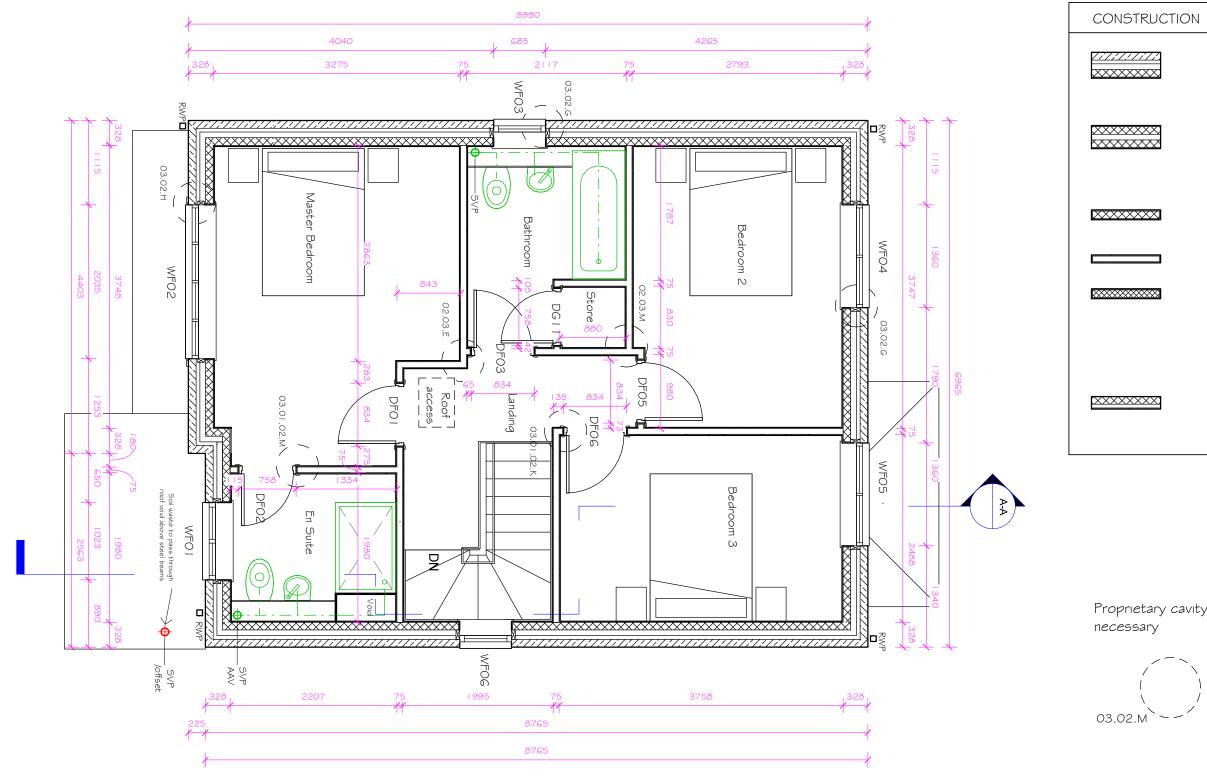
| **** | EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish. |
|-------|---|
| ~~~~~ | PARTY WALL CONSTRUCTION 2 No. leaves 100mm to be in accordance with Robust Detail EWM 17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides. |
| ***** | INTERNAL LOADBEARING BLOCK 100mm block with 12.5mm plasterboard on dabs with skim finish to both sides. |
| | NON LOAD-BEARING PARTITIONS |
| ***** | INTERNAL NON LOAD-BEARING BLOCK I OOmm block with 12,5mm plasterboard on dabs with skim finish to both sides. |
| | <u>DORMA-WINDOW WALL CONSTRUCTION</u> Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details |
| XXXXX | INTERNAL WALL TO GARAGE I OOmm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides. |

Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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FIRST FLOOR PLAN I : 50

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| Seddon Homes | Drawing Title Denholme House Type | Date Drawn | 08/06/1 | 5 Status Checkee | Construction | Millson Associ Byron House, |
|--|--------------------------------------|-----------------|----------|---------------------|----------------------|--------------------------------|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk | First Floor Plan Project Title | Scale Revisi | 1 : 50 | Size | A3 Drawing Number | Manchester, N info@millsona |
| E: sales@seddonhomes.co.uk Registered in England No 305309 | Long Lane, Chapel-en-le-Frith | \sim | 25/04/17 | 1968-DEN-0 | | www.millsonas |

| ////// xxxxx | EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish. |
|-----------------|--|
| ***** | PARTY WALL CONSTRUCTION 2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides. |
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| | NON LOAD-BEARING PARTITIONS |
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| | <u>DORMA-WINDOW WALL CONSTRUCTION</u> Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details |
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Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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Obscured glass

Toughened safety glass

Obscured toughend safety glass

WGOI

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.

necessary





FRONT ELEVATION I : 50

All levels and dimensions must be checked on site by the contractor prior to commencement of works. Any All information hereon in is the copyright of Millson Associates Ltd. Copying in full or in part is forbidden without written permission from Millson Associates Ltd.

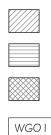
| Seddon Homes | | Drawing Title Denholme House Type Front Elevation | Date Drawr | 08/06/1 n CS | 15 Status Checke | Construction ed RB | Millson Assoc Byron House |
|---|--------|---|---------------------|-----------------|---------------------|-----------------------|--|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | Client | Project Title Long Lane, Chapel-en-le-Frith | Scale Revis G | | Drawing Number | | Manchester, M info@millsona www.millsona |

Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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Obscured glass

Toughened safety glass

Obscured toughend safety glass

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.

<Vent tile _____ WF05 WF04-Vent tile \bowtie WGO3 WGO4c DGO8 WGO4b

necessary



REAR ELEVATION 1:50

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| Seddon Homes Birchwood One Business Park, Dewhurst Road, | | Drawing Title Denholme House Type Rear Elevation | Date Drawn | | Checked | | Millson Assoc Byron House, Manchester, I |
|--|--------|--|----------------------|---|---------|----------------|--|
| Birchwood (Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | Client | Project Title Long Lane, Chapel-en-le-Frith | Scale Revisi G | 1:50 Size A3 on Drawing Numb 25/04/17 1968-DEN-05 | | Drawing Number | info@millsona |

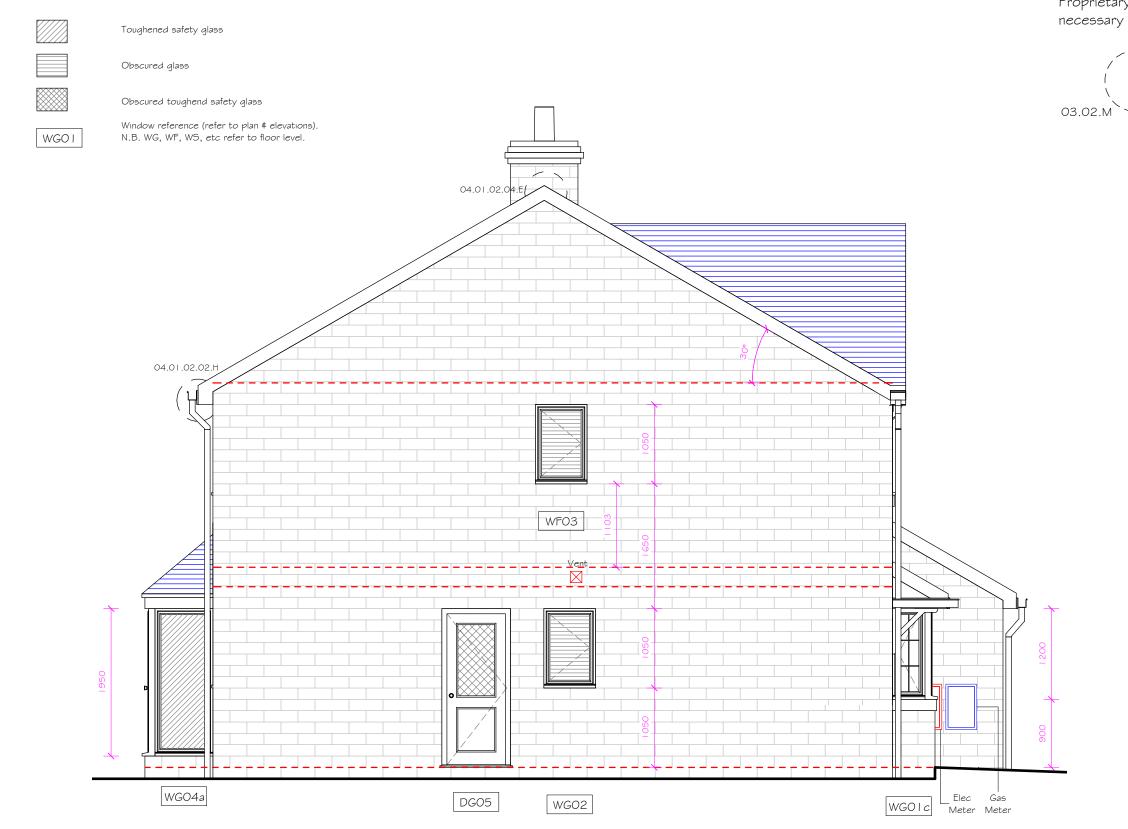
Proprietary cavity fire socks to be provided where



Standard Detail Reference Refer to Standard Detail Pack for further information

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LEFT SIDE ELEVATION I : 50

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| Seddon Homes | | Drawing Title Denholme House Type Left Side Elevation | Date Drawn | 08/06/1 CS | 15 Status Checked | Construction d RB | Millson Assoc Byron House, |
|---|-------|---|----------------------------|---------------------------|-------------------------|----------------------------|--|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | lient | Project Title Long Lane, Chapel-en-le-Frith | Scale Revis G | 1 : 50 ion 25/04/17 | Size [1968-DEN-0 | A3 Drawing Number 06 | Manchester, I info@millsona www.millsona |

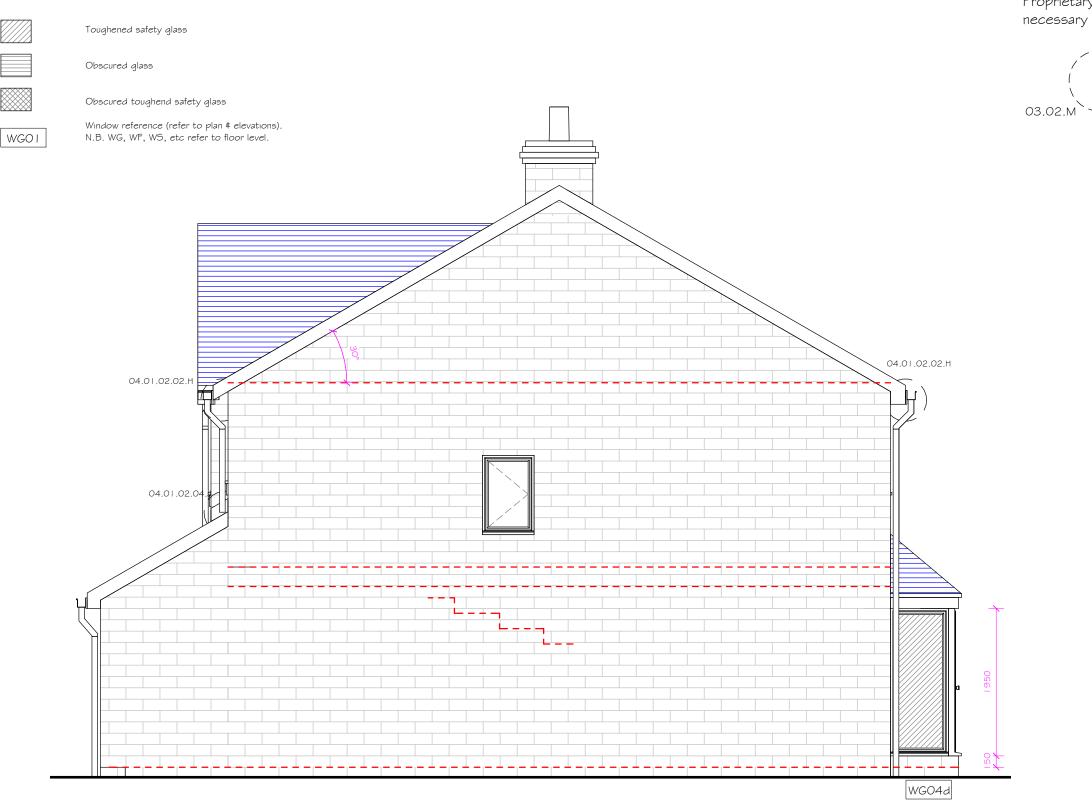
Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference Refer to Standard Detail Pack for further information

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RIGHT SIDE ELEVATION I : 50

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| Section Homes Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk | Denholme House Type Right Side Elevation | Date 08/06/15 Drawn CS Scale 1 : 50 | | Status Construction Checked RB Size A3 | | Millson Assoc Byron House, Manchester, Manchester, Man |
|---|---|---|--|--|----------------------|--|
| E: sales@seddonhomes.co.uk Registered in England No 305309 | Long Lane, Chapel-en-le-Frith | Revision G 2 | | 1968-DEN-0 | Drawing Number D7 | r www.millsona |

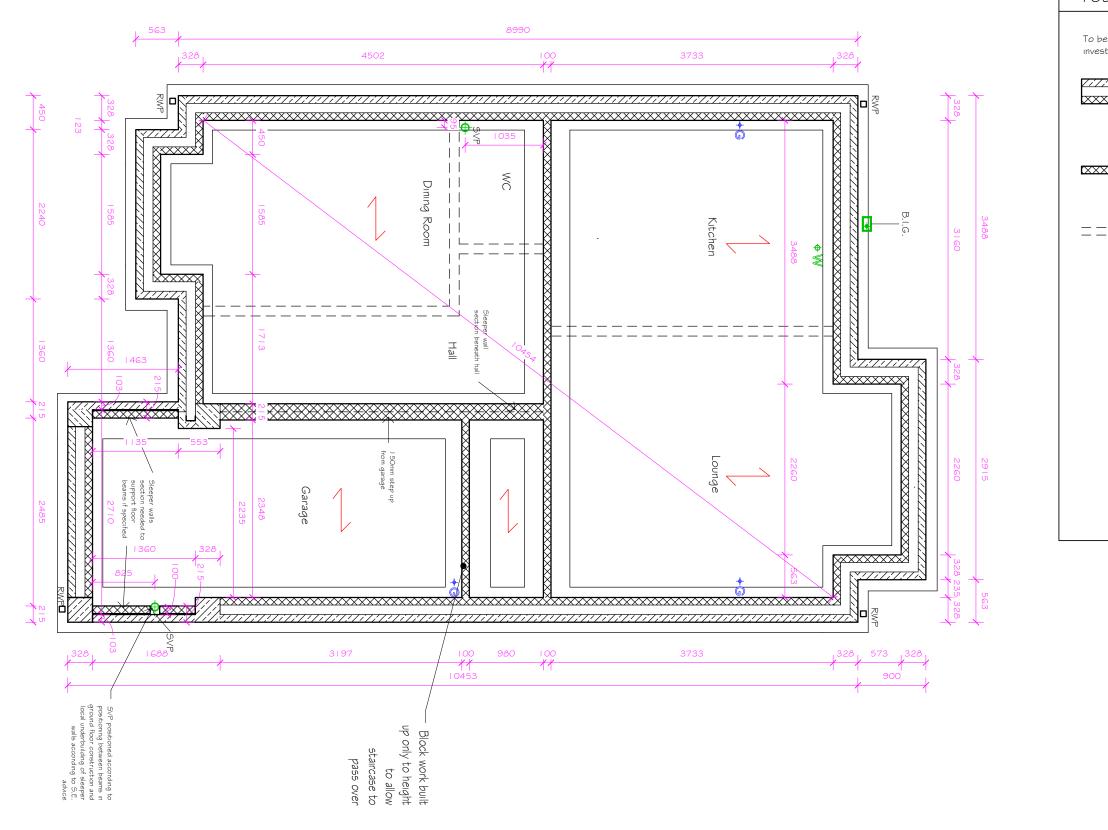
Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference Refer to Standard Detail Pack for further information

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TOP OF FOUNDATIONS PLAN

| Seddon Homes | Drawing Title Denholme House Type | Date 08/0 Drawn CS | 06/15 Status | Construction | Millson Associ Byron House, |
|--|---|---------------------------------|--------------|----------------------|---|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client | Foundation Layout Project Title Long Lane, Chapel-en-le-Frith | Scale 1: Revision G 25/04 | 50 Size | A3 Prawing Number | Manchester, N info@millsona www.millsonas |

FOUNDATION LAYOUT

To be in accordance with recommendations given in site investigation report \$ Structural Engineers details.

| -/-/-// XXXXX | Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks |
|------------------|---|
| XXXXXI | Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks |
| ==== | Non-load bearing wall at ground floor level built off ground floor slab |

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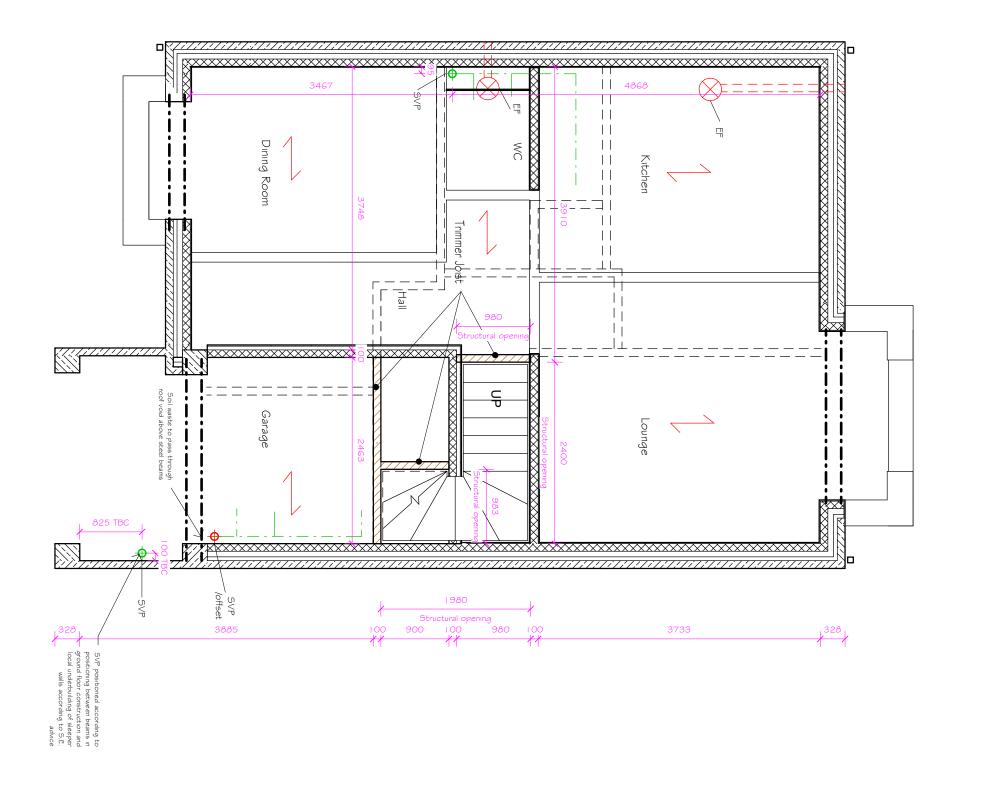
INDICATIVE JOIST LAYOUT

Refer to joist manufacturers detailed joist layout. Joist design based on 220mm deep joists

30 x 5 x 1 400mm long galv. M.S. straps once bent @ 100mm @ 2000mm max. centres with 38 x 150mm solid bridging under where joist spans exceeds 3000mm.

Stairwell: Overall clear opening sizes are shown between face of blockwork and face of trimmers and do not include parge coat. All dimensions to be checked against manufacturer's installation instructions and any discrepancies reported.





JOIST PLAN - GROUND FLOOR PLAN WITH FIRST FLOOR OVER 1 : 50

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| Seddon Homes | Drawing Title Denholme House Type | Date | 08/06/ | 15 Status | Construction | Millson Associa |
|--|--|------------|-----------------|-----------------|------------------------|---------------------------------|
| | Joist Plan - Ground Floor with First Floor | Drawn | CS | Checked | RB | Byron House, |
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB | Over Project Title | Scale | 1 : 50 | Size | A3 | Manchester, M info@millsonas |
| T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | | Revis G | ion 25/04/17 | ۵ 1968-DEN-0 | 0 Drawing Number 19 | www.millsonas |

Horizontal flue system from boiler to run within floor void and terminate through external wall.

To be fitted in accordance with manufacturers installation details. Joists to be trimmed out accordingly.

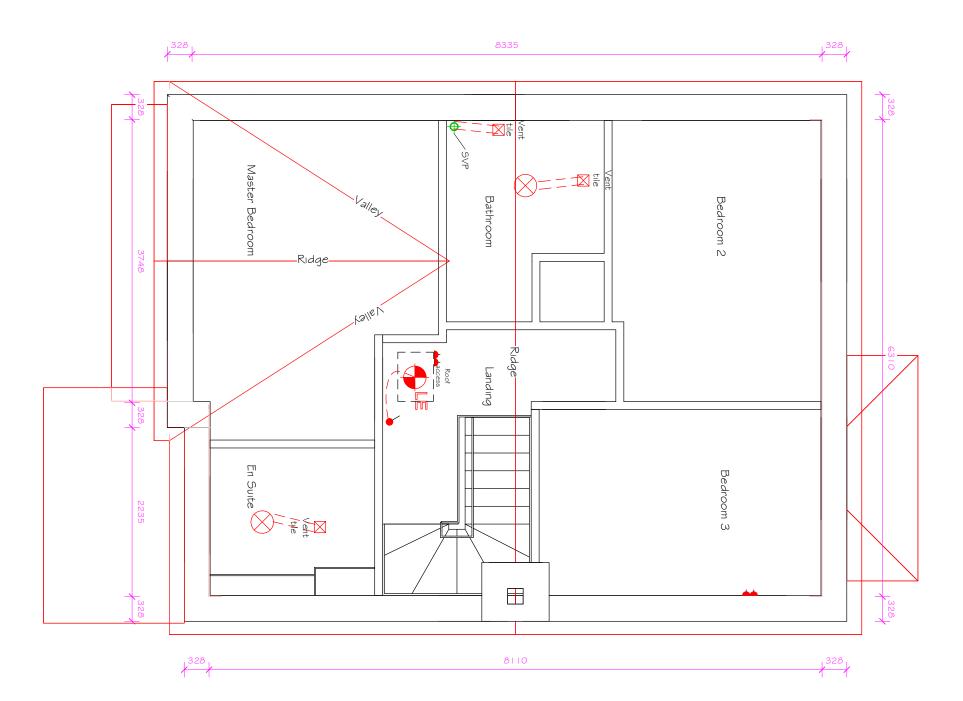
| | Line of stud wall; nb: joists sizes increased or doubled-up under as per manufacturers design. |
|--|--|
| | Cavity masonry wall, see general specification. |
| ×××××××× | Block wall |
| ===== | Non-load bearing walls at floor level above |
| 75mm timber packers to top riser of staircase. | be fixed back to trimmer providing support for |
| Cooker hood and bathro | om extract fans to be taken within floor void |

Cooker hood and bathroom extract fa to be take and ducted through to external walls. Refer to indicative floor joist layout for direction.

Ensuite & Bathroom waste to run within floor void and connect into adjacent SVP. Joists to be trimmed out in accordance with manufacturers design.

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Class 2 flue blocks vented to gas ridge terminal in accordance with manufacturer's design.

ROOF PLAN I : 50

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| Seddon Homes | | Drawing Title Denholme House Type | Date | 08/06/1 | 5 Status | Construction | Millson Associa |
|---|--------|--------------------------------------|-------------|-----------------|-----------------|--------------------|------------------------------|
| | | Roof Plan | Drawn | CS | Checked | RB | Byron House, |
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB | | Project Title | Scale | 1 : 50 | Size | A3 | Manchester, M info@millsonas |
| T: +44(0)1925 839500 W: seddonhomes.co.uk | Client | Long Lane, Chapel-en-le-Frith | Revisi G | ion 25/04/17 | D 1968-DEN-1 | rawing Number 0 | www.millsonass |

ROOF PLAN NOTES

INDICATIVE ROOF TRUSS LAYOUT Refer to joist manufacturers detailed roof plan for trusses & bracing. See section details for roof pitch

Trussed rafters @ 600mm centres.

Ceiling ties longitudinals, diagonals to be in strict accordance with BS.5268 Part 3: 1988.

Roof plan to specialist design with calculations and full bracing details submitted prior to work.

Separating walls are to be taken up to the underside of the roof covering \sharp suitably fire stopped using 50mm Rockwool or similar approved mineral quilt between the top of the cavity wall \$ underside of the roofing felt.

25mm mineral wool laid 300mm wide between the battens to create fire stop to void under tiles. Eaves protection to be constructed using 75mm semi-rigid vertical fire stop set back 100mm from cavity line \$ close fitted to back of the fascia.

Gable wall to be restrained by 30 x 5mm galv. M.S. straps once bent at 100mm build into cavity wall and fix to first three truss members. Timber packing pieces to be fixed between wall and truss. 75 x 50mm noggins fixed between roof trusses. Straps @ 2000mm max. centres.

I No. strap to be within 500mm of ridge.

ROOF ACCESS

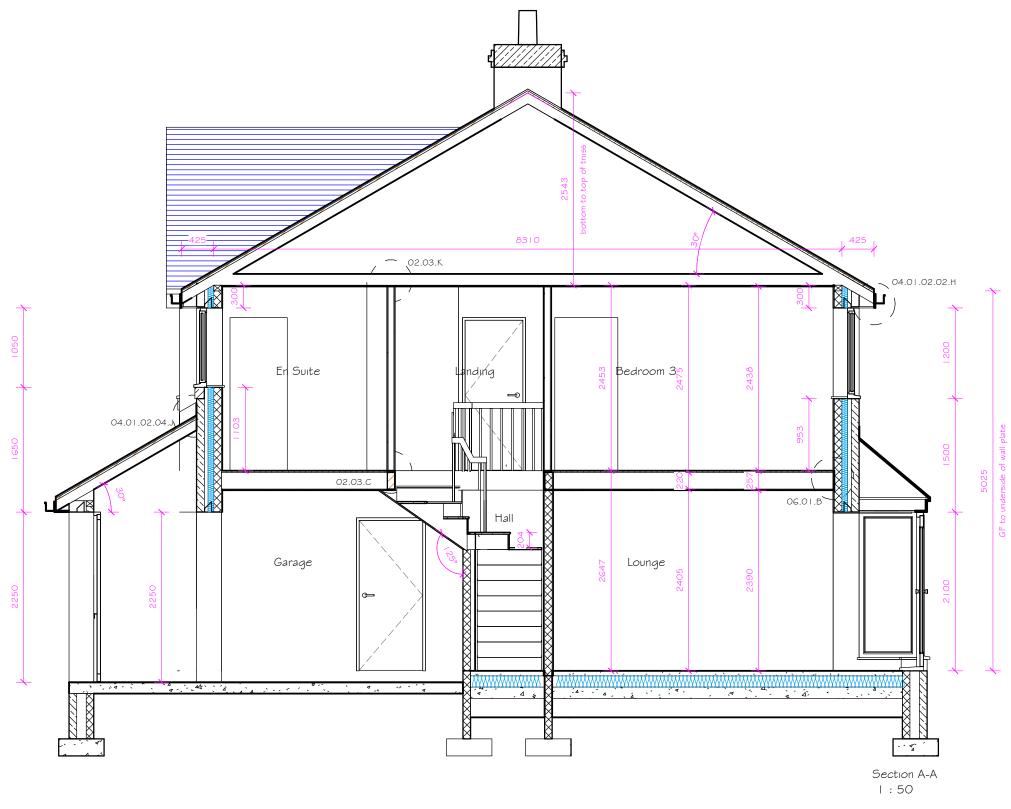
Draught proofed \$ insulated roof access hatch to provide minimum 30 minutes fire resistance.

RIDGE TERMINAL (where applicable)

Where there is to be a ridge terminal, the Angle of twin wall pipe between exit block and ridge terminal <u>must</u> exceed 45 deg.

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| Seddon Homes | | Drawing Title Denholme House Type Section A-A | Date Drawn | 08/06/ CS | 15 Status Checke | Construction ed RB | Millson Assoc Byron House, |
|---|-----|---|---------------------|---------------------------|---------------------|----------------------------|--|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | ent | Project Title Long Lane, Chapel-en-le-Frith | Scale Revis G | 1 : 50 ion 25/04/17 | Size 1968-DEN- | A3 Drawing Number 11 | Manchester, N info@millsona www.millsona |

SECTION NOTES

38 x 100mm s.w. treated timber mono trusses to form front entrance lean to roof. Timber sizes & grade to be confirmed. Trusses to be hung off external wall & supported off timber purlins.

GROUND FLOOR TO FIRST FLOOR STAIRCASE: 13 No. risers @ 204mm 12 No. treads @ 235mm Max. pitch 42°.

Code 4 lead flashing or similar approved, cavity tray and DPC to all openings, reveals and abutments.

Level approach to entrance for part M

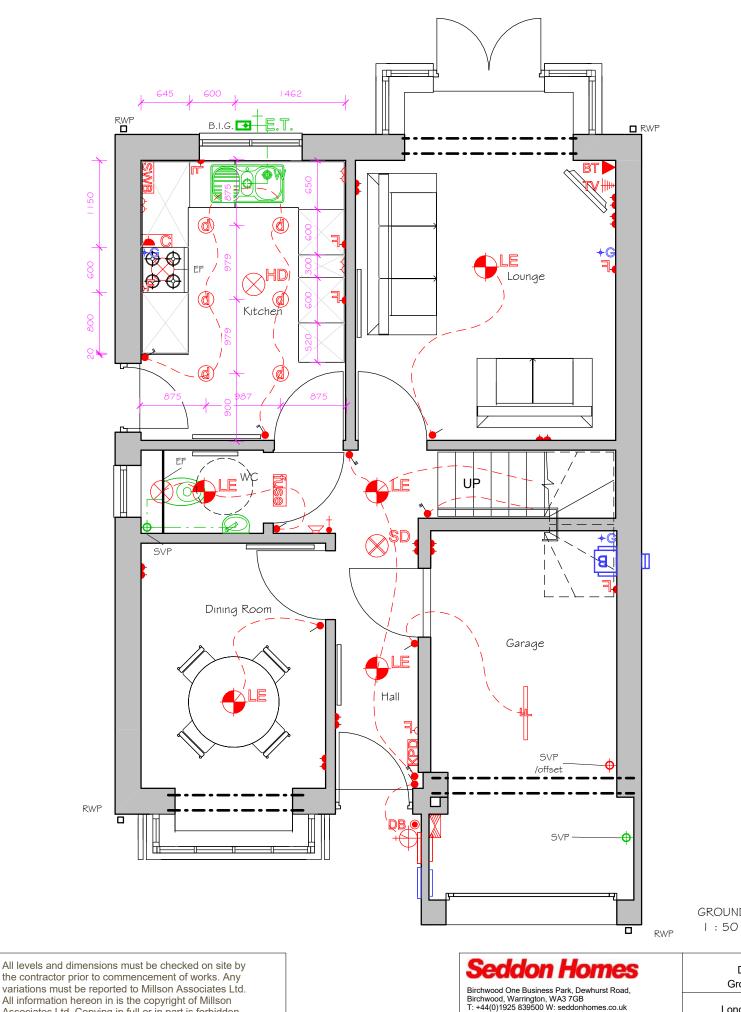
FOUNDATIONS AND GROUND FLOOR CONSTRUCTION ARE INDICATIVE ONLY AND SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS.

100 x 75mm Wallplates

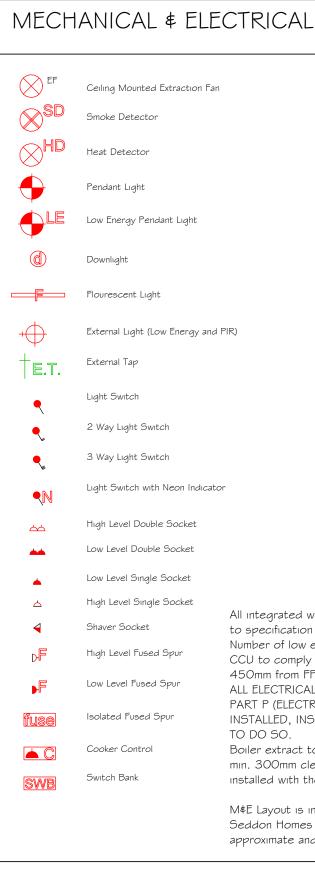
Sloping soffit to be provided between stairs \$ plaster finish following the line of the string \notin fixed to u\s of bottom rail.

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GROUND FLOOR M ∉ E LAYOUT

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| | Drawing Title | Date | 08/06/1 | 15 Status | Construction | Millson Asso |
|--------|--|-------|----------|-------------|---------------|-----------------------------|
| | Denholme House Type Ground Floor M & E Layout | Drawn | CS | Checked | RB | Byron House |
| | Project Title | Scale | 1 : 50 | Size | A3 | Manchester, info@millsor |
| 011 | Long Lane, Chapel-en-le-Frith | Revis | ion | | rawing Number | www.millson |
| Client | | G | 25/04/17 | 1968-DEN-12 | 2 | |

| ŢV₩₩ | TV Output |
|-----------------------------|-------------------------------|
| BT | BT Output |
| DB • | Door Bell |
| +• | Thermostat |
| | Consumer Unit |
| ¥ | Door Bell Sounder |
| KPD | Burglar Key Pad |
| +G | Gas Connection Point |
| | Rainwater Pipe |
| ♦SFG | Sealed Floor Gulley |
| ♦W | Water Entry Point |
| - ◆ - [∨] P | Vent Pipe |
| - SVP | Soil & Vent Pipe |
| | SVP from floor above or below |
| ⊕ ^{ss} | Stub stack, 1m high |
| - SVP AAV | SVP with Air Admittance Valve |
| F | Back Inlet Gulley |
| ∎⊟В | Boiler |
| | Radiator |
| | Heated Towel Rail |

All integrated white goods to be wired to switch bank. Refer to specification for further details.

Number of low energy light fittings to be confirmed by client. CCU to comply with ADM guideance and be mounted between 450mm from FFL and 1200mm high

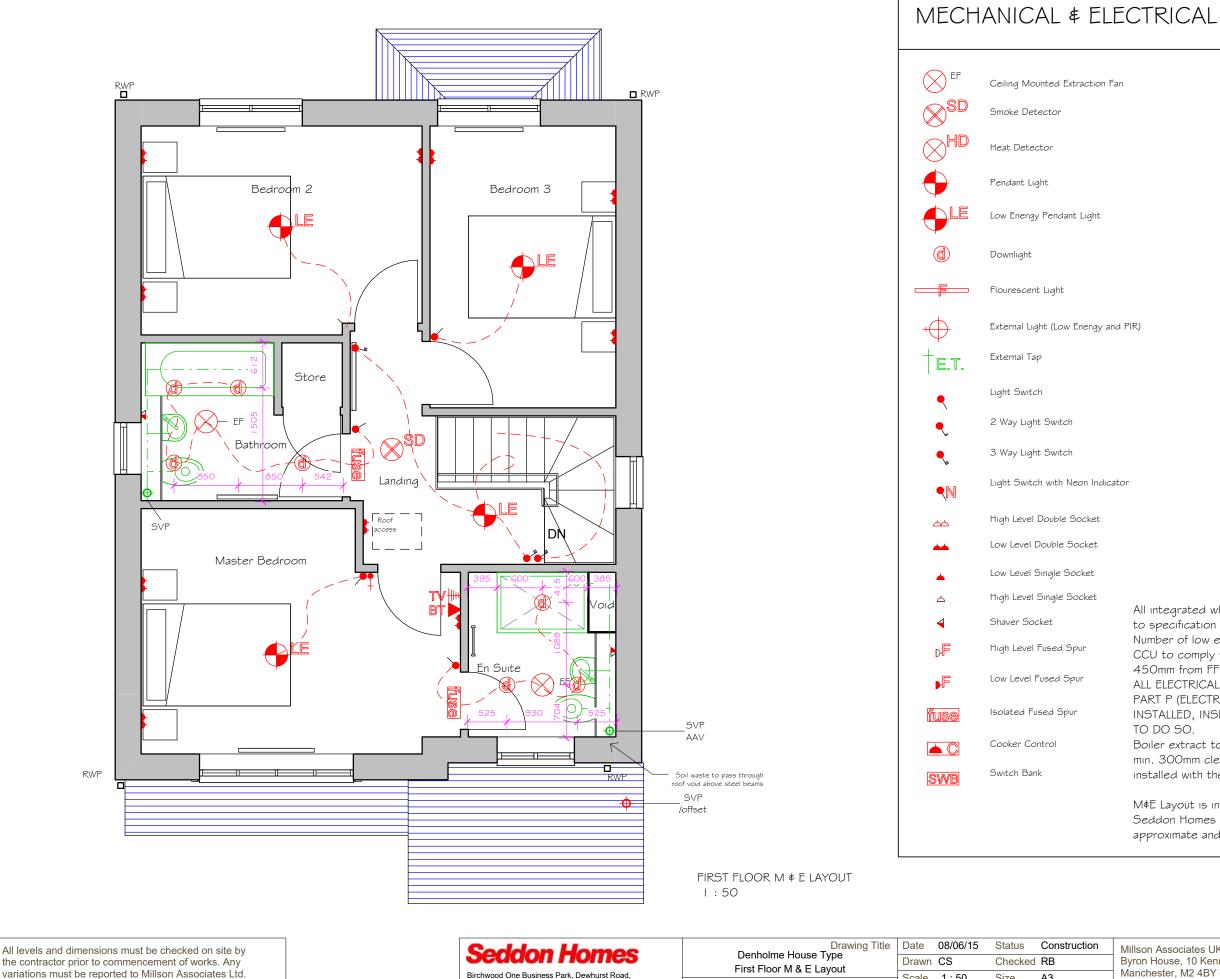
ALL ELECTRICAL WORK TO MEET THE REQUIREMENTS OF PART P (ELECTRICAL SAFETY). ALL WORK MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY A PERSON QUALIFIED

Boiler extract to be taken through to external grille. Ensure min. 300mm clear distance from any opening. Flues should be installed with the shortest length and as few joints as possible.

M&E Layout is indicative and should be read in conjunction with Seddon Homes Site Specification. Locations of all M&E are approximate and this plan should not be used to scale from.

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| Seddon Homes | Drawing Title Denholme House Type First Floor M & E Lavout | Date 08/06 Drawn CS | /15 Status Construction Checked RB | Millson Associa Byron House, |
|---|--|--------------------------------------|---------------------------------------|--|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | Project Title Long Lane, Chapel-en-le-Frith | Scale 1:50 Revision G 25/04/17 | Drawing Number | Manchester, N info@millsonas www.millsonas |

| ŢV╫┉ | TV Output |
|--------------|-------------------------------|
| BT | BT Output |
| DB • | Door Bell |
| +• | Thermostat |
| | Consumer Unit |
| ¥ | Door Bell Sounder |
| KPD | Burglar Key Pad |
| +G | Gas Connection Point |
| RWP | Rainwater Pipe |
| ⇔SFG | Sealed Floor Gulley |
| ♦W | Water Entry Point |
| | Vent Pipe |
| • SVP | Soil & Vent Pipe |
| | SVP from floor above or below |
| - - | Stub stack, 1 m high |
| - SVP AAV | SVP with Air Admittance Valve |
| ₽ | Back Inlet Gulley |
| ∎=В | Boiler |
| | Radiator |
| | Heated Towel Rail |

All integrated white goods to be wired to switch bank. Refer to specification for further details.

Number of low energy light fittings to be confirmed by client. CCU to comply with ADM guideance and be mounted between 450mm from FFL and 1200mm high

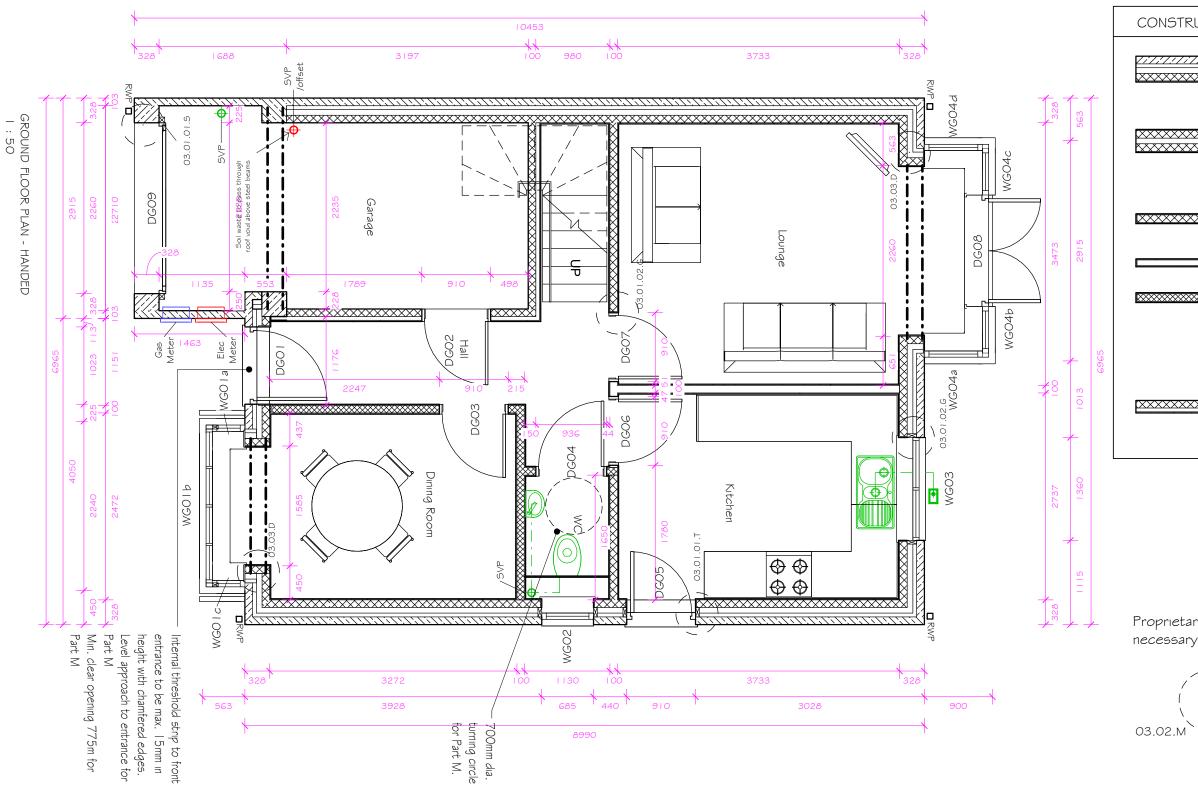
ALL ELECTRICAL WORK TO MEET THE REQUIREMENTS OF PART P (ELECTRICAL SAFETY). ALL WORK MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY A PERSON QUALIFIED TO DO SO.

Boiler extract to be taken through to external grille. Ensure min. 300mm clear distance from any opening. Flues should be installed with the shortest length and as few joints as possible.

M&E Layout is indicative and should be read in conjunction with Seddon Homes Site Specification. Locations of all M&E are approximate and this plan should not be used to scale from.

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| Seddon Homes | Drawing Title | Date | 08/06/1 | 5 Status | Construction | Millson Associ |
|---|---|--------|----------|------------|---------------|--------------------------------|
| Secucin nomes | Denholme House Type Ground Floor Plan - Handed | Drawn | CS | Checked | RB | Byron House, |
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB | Project Title | Scale | 1 : 50 | Size | A3 | Manchester, N info@millsona |
| T: +44(0)1925 839500 W: seddonhomes.co.uk | Long Lane, Chapel-en-le-Frith | Revisi | ion | | rawing Number | www.millsonas |
| Registered in England No 305309 Client | | G | 25/04/17 | 1968-DEN-1 | 4 | |

CONSTRUCTION

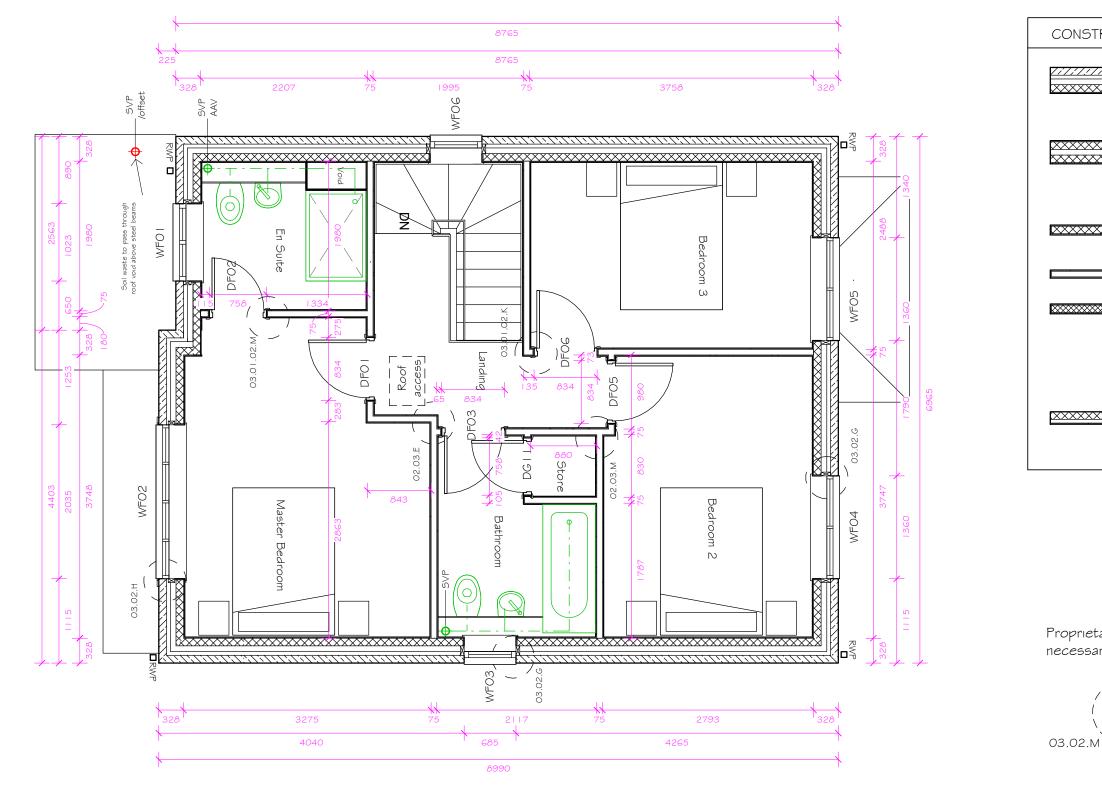
| · <u>//////</u> ·XXXXX | EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish. |
|---------------------------|--|
| ××××× ××××× | PARTY WALL CONSTRUCTION 2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides. |
| ~~~~~ | INTERNAL LOADBEARING BLOCK 100mm block with 12.5mm plasterboard on dabs with skim finish to both sides. |
| | NON LOAD-BEARING PARTITIONS |
| **** | INTERNAL NON LOAD-BEARING BLOCK I OOmm block with 12.5mm plasterboard on dabs with skim finish to both sides. |
| | DORMA-WINDOW WALL CONSTRUCTION Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details |
| XXXXX | INTERNAL WALL TO GARAGE I OOmm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides. |

Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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ociates UK North Office: e, 10 Kennedy Street, , M2 4BY - 0161 228 0558 nassociates.co.uk associates.co.uk



FIRST FLOOR PLAN 1 : 50

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| Secidon Homes Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client | Denholme House Type First Floor Plan - Handed Project Title | Drawn C Scale 1 Revision | 1 : 50 n | Checked Size | A3 Drawing Number | Millson Assoc Byron House, Manchester, M info@millsona www.millsona |
|---|---|--------------------------------|-------------|-----------------|----------------------|---|
|---|---|--------------------------------|-------------|-----------------|----------------------|---|

CONSTRUCTION

| | <u>KTERNAL WALL CONSTRUCTION</u> OV/102.5mm Stone facing outer leaf. 125mm avity 50mm clear ¢75mm partial fill insulation. O0mm block inner leaf with 12.5mm asterboard on dabs with skim finish. |
|---------------------|--|
| 2 Ri In Pl | ARTY WALL CONSTRUCTION No. leaves 100mm to be in accordance with obust Detail EWM17. Provided full fill cavity sulation with 12.5mm (nominal 9.8kg/m2) asterboard on dabs with skim finish on both des. |
| | ITERNAL LOADBEARING BLOCK OOmm block with 12.5mm plasterboard on abs with skim finish to both sides. |
| N | ON LOAD-BEARING PARTITIONS |
| | ITERNAL NON LOAD-BEARING BLOCK OOmm block with 12.5mm plasterboard on abs with skim finish to both sides. |
| D Ri | <u>ORMA-WINDOW WALL CONSTRUCTION</u> enotes indicative dorma wall construction. efer to dorma manufacturers specification and stails |
| 6 | ITERNAL WALL TO GARAGE OOmm block leaf to garage face with a nominal 5mm insulated plasterboard to the habitable bom sides. |

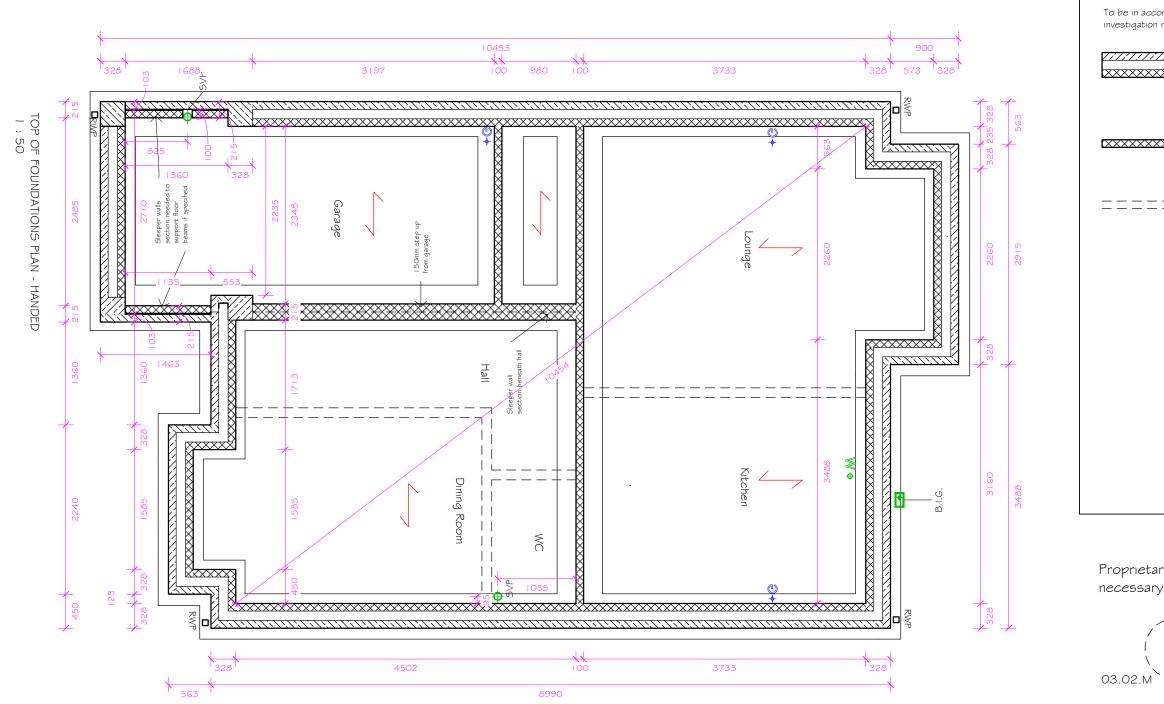
Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference Refer to Standard Detail Pack for further information

MillsonAssociates

ociates UK North Office: se, 10 Kennedy Street, r, M2 4BY - 0161 228 0558 nassociates.co.uk nassociates.co.uk



| Section Homes Drawing Title Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB Denholme House Type T: +44(0)1925 839500 W: seddonhomes.co.uk Project Title E: sales@seddonhomes.co.uk Client | Drawn CS | Checked : 50 Size | A3 rawing Number | Millson Associ Byron House, Manchester, M info@millsona www.millsonas |
|---|----------|----------------------|---------------------|---|
|---|----------|----------------------|---------------------|---|

FOUNDATION LAYOUT

To be in accordance with recommendations given in site investigation report \$ Structural Engineers details.

| */:///// | Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks |
|----------|---|
| XXXXXI | Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks |
| === | Non-load bearing wall at ground floor level built off ground floor slab |

Proprietary cavity fire socks to be provided where necessary

Standard Detail Reference Refer to Standard Detail Pack for further information

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ociates UK North Office: e, 10 Kennedy Street, , M2 4BY - 0161 228 0558 nassociates.co.uk nassociates.co.uk

DOOR SPECIFICATION

General - The provision of Fire Safety shall be in accordance with AD Part B, Resistance to the Passage of Sound with Part E and Access & Facilities for the Disabled with Part M of the Building Regulations.

External Doors - 44mm external doors to be steel faced, insulated \$ weather-sealed, having a min. 775mm clear opening \$ accessible threshold. Frame to be softwood with composite cill, including an adjustable Part M compliant threshold strip.

Internal Doors - (REFER TO SPECIFICATION FOR STYLE) Internal doors to habitable rooms (as defined by AD Part M) on the entrance or principle storey shall have min. clear opening width of 775mm. Corridors shall have a min. clear width of 900mm when approached head on or 1050mm clear width when not approached head on. W.C. compartments shall be provided on the entrance or principle storey and have outward opening doors.

Internal Fire Doors - Three storey housing shall have a protected stairway offering 30min. fire resistance. All doors opening onto the stairway shall be self closing, min. FD20 fire doors. Interconnecting doors between a dwelling and garage shall be self closing FD30 fire doors.

| | | | | | | DOOR S | CHEDUL | E |
|----------------|----------------|------------------|------------------------|-------------------------|---------------|----------------|----------------|--------------------------|
| Door Number | Floor Level | Door Style | Door Panel Width | Door Panel Height | S.O. Width | S.O. Height | Fire Rating | |
| | | | | | | | | |
| DGOI | GF | External Style A | 926 | 2056 | 1023 | 2100 | | Obscured a |
| DGO2 | GF | Internal Single | 838 | 1981 | 910 | 2025 | FD30S | Internal do |
| DGO3 | GF | Internal Single | 838 | 1981 | 910 | 2025 | FD20 | |
| DGO4 | GF | Internal Single | 864 | 1981 | 936 | 2025 | FD20 | |
| DGO5 | GF | External Style B | 807 | 2013 | 910 | 2100 | | Obscured a |
| DGOG | GF | Internal Single | 838 | 1981 | 910 | 2025 | FD20 | |
| DG07 | GF | Internal Single | 838 | 1981 | 910 | 2025 | FD20 | |
| DG08 | GF | External Style D | 686 | 1993 | 1473 | 2100 | | Double Doo side windo |
| DGO9 | GF | Garage Door V | | | 2260 | 2250 | | Main garag |
| | | | | | | | | |
| DFOI | FST | Internal Single | 762 | 1981 | 834 | 2025 | FD20 | |
| DF02 | FST | Internal Single | 686 | 1981 | 758 | 2025 | | |
| DF03 | FST | Internal Single | 762 | 1981 | 834 | 2025 | FD20 | |
| DF05 | FST | Internal Single | 762 | 1981 | 834 | 2025 | FD20 | |
| DFOG | FST | Internal Single | 762 | 1981 | 834 | 2025 | FD20 | |
| | | | | | | | | |

686

DOOR STYLES 1:50

DGII

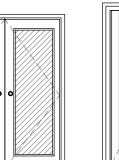
External Style A

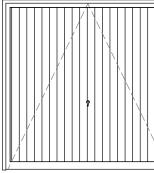
FST

External Style B

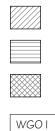
External Style D

Garage Door V





GLAZING

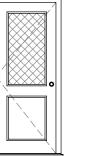


Toughened safety glass Obscured glass

Obscured toughend safety glass

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.





Internal Single



1981

758

2025



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| Seddon Homes | Drawing Title Denholme House Type | Date Drawn | 08/06/ [,] CS | 15 Status Checked | Construction RB | Millson Associa Byron House, 1 |
|--|--------------------------------------|----------------|---------------------------|-------------------------|----------------------------|--|
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client | Door Schedule | Scale Revis | 1 : 50 ion 25/04/17 | Size D 1968-DEN-D | A3 Drawing Number DS | Manchester, M info@millsonas www.millsonas |
| | | - | 20/0 1/11 | | | |

Comments

and toughened glazing oor to garage. With self closer.

and toughened glazing

pors. Toughened glazing. Part of square bay window set with ows (see window schedule) ge door

Internal Single





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ciates UK North Office: , 10 Kennedy Street, M2 4BY - 0161 228 0558 associates.co.uk associates.co.uk

WINDOW SPECIFICATION:

Provide standard double glazed (BS5713) draught sealed timber / PVCu windows. Windows shall provide rapid ventilation in habitable rooms to at least 1/20th floor area, part of which being 1750mm above floor. Trickle ventilation to be provided in accordance with manufacturer's guidelines with openable vent areas of 8,000mm² \$ 4,000mm² to habitable rooms \$ non-habitable rooms respectively.

Glazing in critical locations shall be detailed in accordance with AD Part N. $% \left({{\rm AD}} \right)$

Below 800mm measured from floor level for glazed screens $\ensuremath{\$}$ windows.

Below I 500mm measured from floor level for doors and any side panels within 300mm of the door. Glazing in this area shall be toughened safety glass to BS 6262 : Part 4.

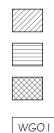
Egress windows to be provided in accordance with AD Part B. Such windows shall have a minimum unobstructed opening area of $0.33m^2$, provided by an opening of at least 450mm high \$ 450mm wide, with the lowest part of the opening located no higher than 1100mm above floor level. Egress hinges to have restrictors with emergency override.

Window cills shall have an anti-capillary drip and project beyond the external face of the wall or any sub cill by at least 25mm. The frame must be located in the reveal so that there is a 30mm min. overlap with the cavity closer to reduce the effect of cold bridging around openings. Windows shall provide a max. 'U' value of $2.0W/m^2K$. This U-value is an area weighted value and is applicable only where the total area of doors, windows \ddagger roof lights does not exceed 25% of the total area. Consider the CDM Regulations 1994 regarding access to windows and the arrangement of opening lights, so that safe access for cleaning is possible, especially those windows serving the 3rd storey \ddagger above.

Obscure glass shall be 'Cotswold' pattern and be provided in windows to Bathrooms, W.C.'s & En suites, together with front entrance doors and side screens where non-decorative obscured glazing is specified. The Cotswold glass will form the inner pane of the sealed double glazed unit.

All dimensions shown on this drawing are structural opening sizes; actual window sizes may vary dependant on desired tolerance.

GLAZING



Toughened safety glass

Obscured glass

Obscured toughend safety glass

Window reference (refer to plan ¢ elevations). N.B. WG, WF, WS, etc refer to floor level.

| ULE | V SCHED | WINDOV | | | | | |
|-------------------------|------------------|----------------|----------------|---------------|------------------|----------------|------------------|
| | Escape Window | Sıll Heıght | S.O. Height | S.O. Width | Window Style | Floor Level | Window Number |
| | | | | | | | |
| Part of bay | | 900 | 1200 | 430 | Window Style 1.8 | GF | WGOla |
| Part of bay | | 900 | 1200 | 2035 | Window Style 4.8 | GF | WGOIb |
| Part of bay | | 900 | 1200 | 430 | Window Style 1.8 | GF | WGOIc |
| Obscured g | | 1050 | 1050 | 685 | Window Style 1.0 | GF | WGO2 |
| | | 1050 | 1050 | 1360 | Window Style 2.0 | GF | WGO3 |
| Toughened door sched | | 150 | 1950 | 767 | Window Style 1.0 | GF | WGO4a |
| Toughened door sched | | 150 | 1950 | 619 | Window Style 1.0 | GF | WGO4b |
| Toughened door sched | | 150 | 1950 | 619 | Window Style 1.0 | GF | WGO4c |
| Toughened door sched | | 150 | 1950 | 767 | Window Style 1.0 | GF | WGO4d |
| | | | | | | | |
| Obscured g | | 1103 | 1050 | 1023 | Window Style 2.8 | FST | WFO I |
| | | 953 | 1200 | 2035 | Window Style 4.8 | FST | WFO2 |
| Obscured g | | 1103 | 1050 | 685 | Window Style 1.0 | FST | WF03 |
| | | 953 | 1200 | 1360 | Window Style 2.0 | FST | WF04 |
| | | 953 | 1200 | 1360 | Window Style 2.0 | FST | WF05 |
| Fixed Light. | | 428 | 1050 | 685 | Window Style 1.0 | FST | WFOG |

WINDOW STYLES

1:50

Window Style 1.0 Window Style 1.8 Window Style 2.0

Window Style 2.8









| Seddon Homes | | Drawing Title | Date | 08/06/1 | 5 Status | Construction |
|--|--------|--|------------|-----------------|-----------------|----------------------|
| Secucinnomes | | Denholme House Type Window Schedule | Drawn | CS | Checked | RB |
| Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB | | Project Title | Scale | 1 : 50 | Size | A3 |
| T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 | Client | Long Lane, Chapel-en-le-Frith | Revis G | ion 25/04/17 | ٦ 1968-DEN-V |)rawing Number VS |

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Comments

window set. Fixed light window set window set. Fixed light

glazıng

a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule)

glazıng

glazıng

Obscure & Toughened safety glazing

Window Style 4.8

MillsonAssociates

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