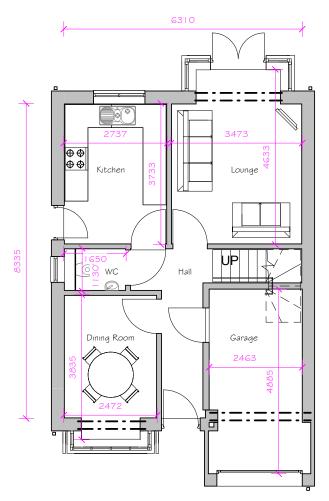


FRONT ELEVATION OVERVIEW

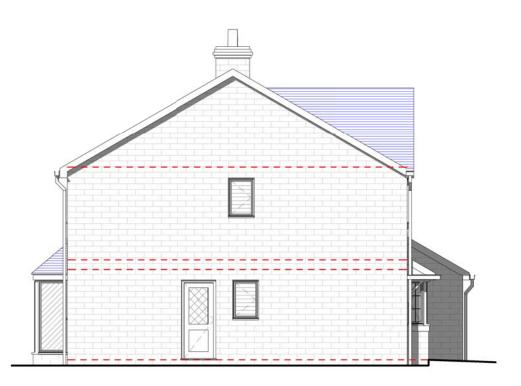


GROUND FLOOR PLAN OVERVIEW

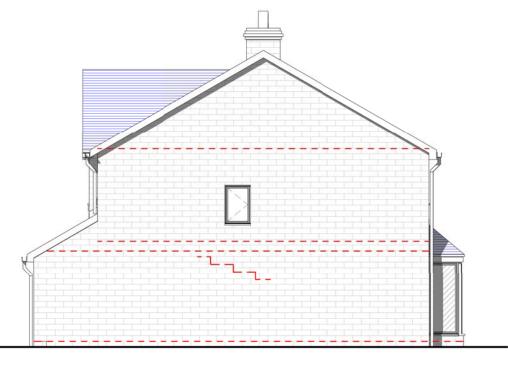
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REAR ELEVATION OVERVIEW



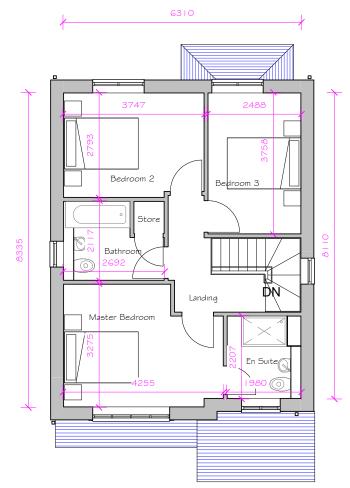
LEFT SIDE ELEVATION OVERVIEW I : 100



RIGHT SIDE ELEVATION OVERVIEW

AREA SCHEDULE (Gross Internal Area)						
Area		Area				
reference	Level	Sq.m	Area Sq.ft			
Ground Floor	GF	46.494 m²	500.460 ft²			
First Floor	FST	52.017 m²	559.909 ft²			
		98.512 m²	1060.370 ft²			

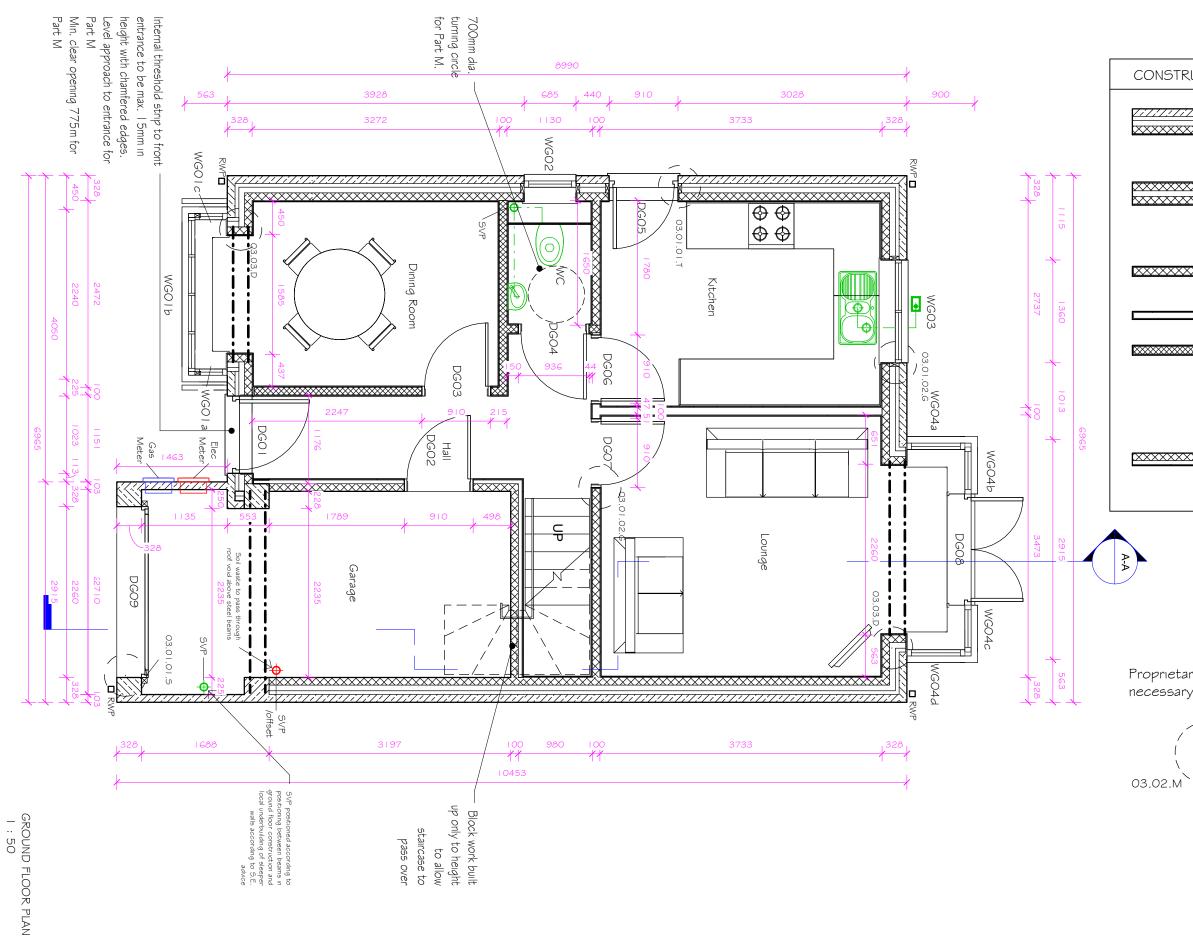
Seddon Homes	Drawing Title Denholme House Type	Date 08/06/		Construction	Millson Assoc
Birchwood One Business Park, Dewhurst Road,	Plans and Elevations Overview	Drawn CS	Checked		Byron House, Manchester, I
Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk	Project Title	Scale 1:100 Revision		A3 rawing Number	info@millsona
E: sales@seddonhomes.co.uk Registered in England No 305309		G 25/04/17	1968-DEN-01		www.millsona



FIRST FLOOR PLAN OVERVIEW

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Seddon Homes	Drawing Title	Date	08/06/1	5 Status	Construction	Millson Associ
	Denholme House Type	Drawn	CS	Checked	RB	Bvron House.
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client	Ground Floor Plan Project Title Long Lane, Chapel-en-le-Frith	Scale Revisi G	1 : 50	Size	A3 Drawing Number	Manchester, Manche

CONSTRUCTION

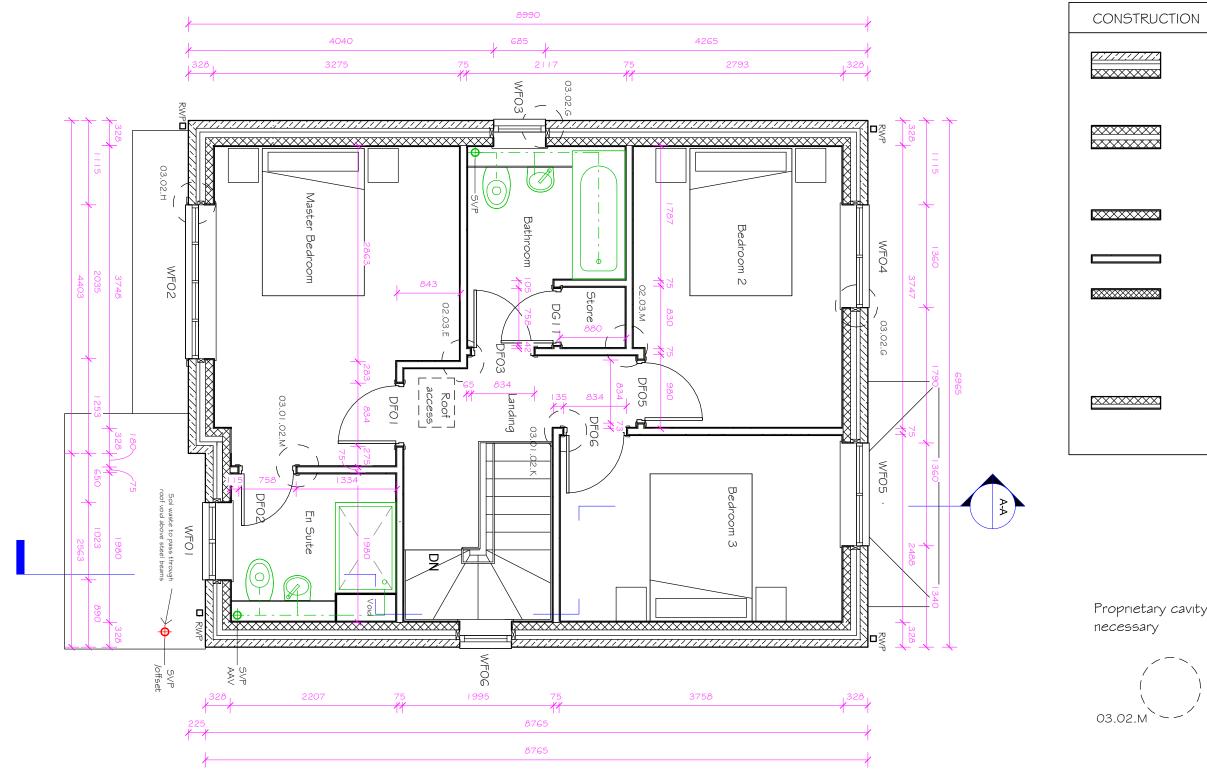
****	EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.
~~~~~	PARTY WALL CONSTRUCTION 2 No. leaves 100mm to be in accordance with Robust Detail EWM 17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides.
*****	INTERNAL LOADBEARING BLOCK 100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.
	NON LOAD-BEARING PARTITIONS
*****	INTERNAL NON LOAD-BEARING BLOCK I OOmm block with 12,5mm plasterboard on dabs with skim finish to both sides.
	<u>DORMA-WINDOW WALL CONSTRUCTION</u> Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details
XXXXX	INTERNAL WALL TO GARAGE I OOmm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides.

Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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FIRST FLOOR PLAN I : 50

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Seddon Homes	Drawing Title Denholme House Type	Date Drawn	08/06/1	5 Status Checkee	Construction	Millson Associ Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk	First Floor Plan Project Title	Scale Revisi	1 : 50	Size	A3 Drawing Number	Manchester, N info@millsona
E: sales@seddonhomes.co.uk Registered in England No 305309	Long Lane, Chapel-en-le-Frith	$\sim$	25/04/17	1968-DEN-0		www.millsonas

////// xxxxx	EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.
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Standard Detail Reference Refer to Standard Detail Pack for further information

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Obscured glass

Toughened safety glass

Obscured toughend safety glass

WGOI

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.

necessary





FRONT ELEVATION I : 50

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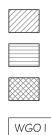
Seddon Homes		Drawing Title Denholme House Type Front Elevation	Date Drawr	08/06/1 n CS	15 Status Checke	Construction ed RB	Millson Assoc Byron House
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	Client	Project Title Long Lane, Chapel-en-le-Frith	Scale Revis G		Drawing Number		Manchester, M info@millsona www.millsona

Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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Obscured glass

Toughened safety glass

Obscured toughend safety glass

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.

<Vent tile _____ WF05 WF04-Vent tile  $\bowtie$ WGO3 WGO4c DGO8 WGO4b

necessary



REAR ELEVATION 1:50

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Seddon Homes Birchwood One Business Park, Dewhurst Road,		Drawing Title Denholme House Type Rear Elevation	Date Drawn		Checked		Millson Assoc Byron House, Manchester, I
Birchwood (Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	Client	Project Title Long Lane, Chapel-en-le-Frith	Scale Revisi G	1:50         Size         A3           on         Drawing Numb           25/04/17         1968-DEN-05		Drawing Number	info@millsona

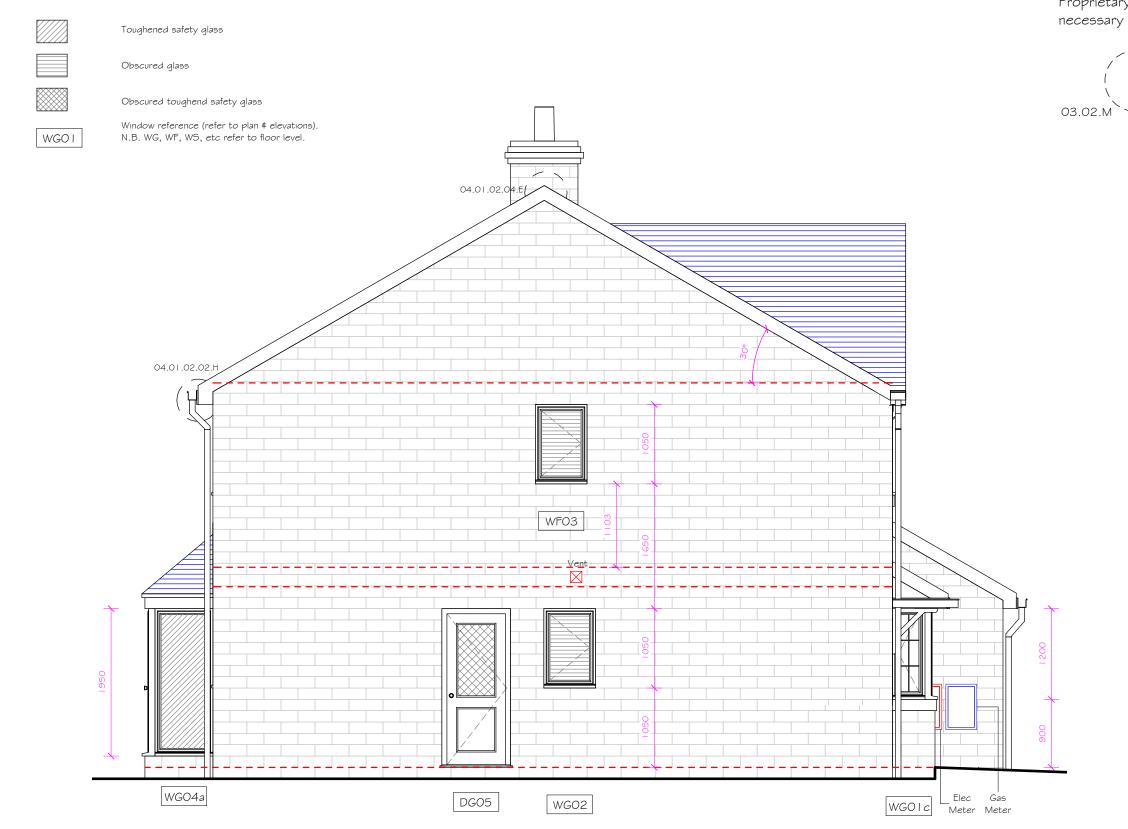
Proprietary cavity fire socks to be provided where



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LEFT SIDE ELEVATION I : 50

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Seddon Homes		Drawing Title Denholme House Type Left Side Elevation	Date Drawn	08/06/1 CS	15 Status Checked	Construction d RB	Millson Assoc Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	lient	Project Title Long Lane, Chapel-en-le-Frith	Scale Revis <b>G</b>	1 : 50 ion 25/04/17	Size [ 1968-DEN-0	A3 Drawing Number 06	Manchester, I info@millsona www.millsona

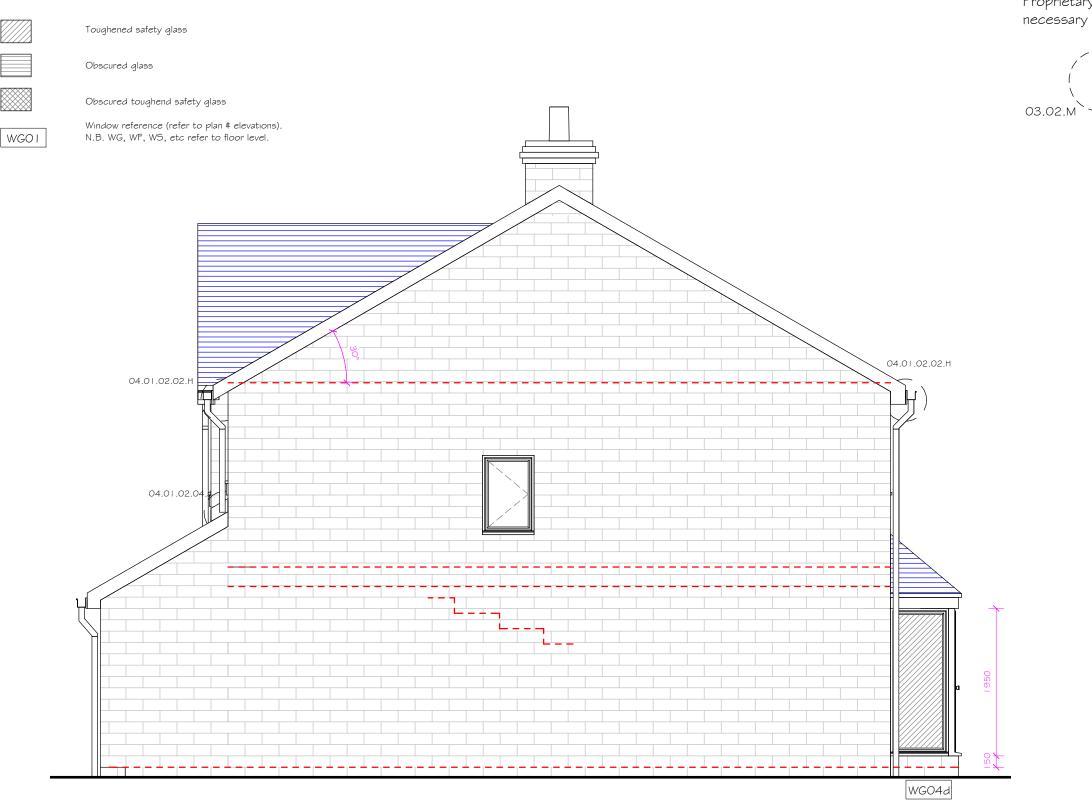
Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference Refer to Standard Detail Pack for further information

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RIGHT SIDE ELEVATION I : 50

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Section Homes Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk	Denholme House Type Right Side Elevation	Date         08/06/15           Drawn         CS           Scale         1 : 50		Status     Construction       Checked     RB       Size     A3		Millson Assoc Byron House, Manchester, Manchester, Man
E: sales@seddonhomes.co.uk Registered in England No 305309	Long Lane, Chapel-en-le-Frith	Revision G 2		1968-DEN-0	Drawing Number D7	r www.millsona

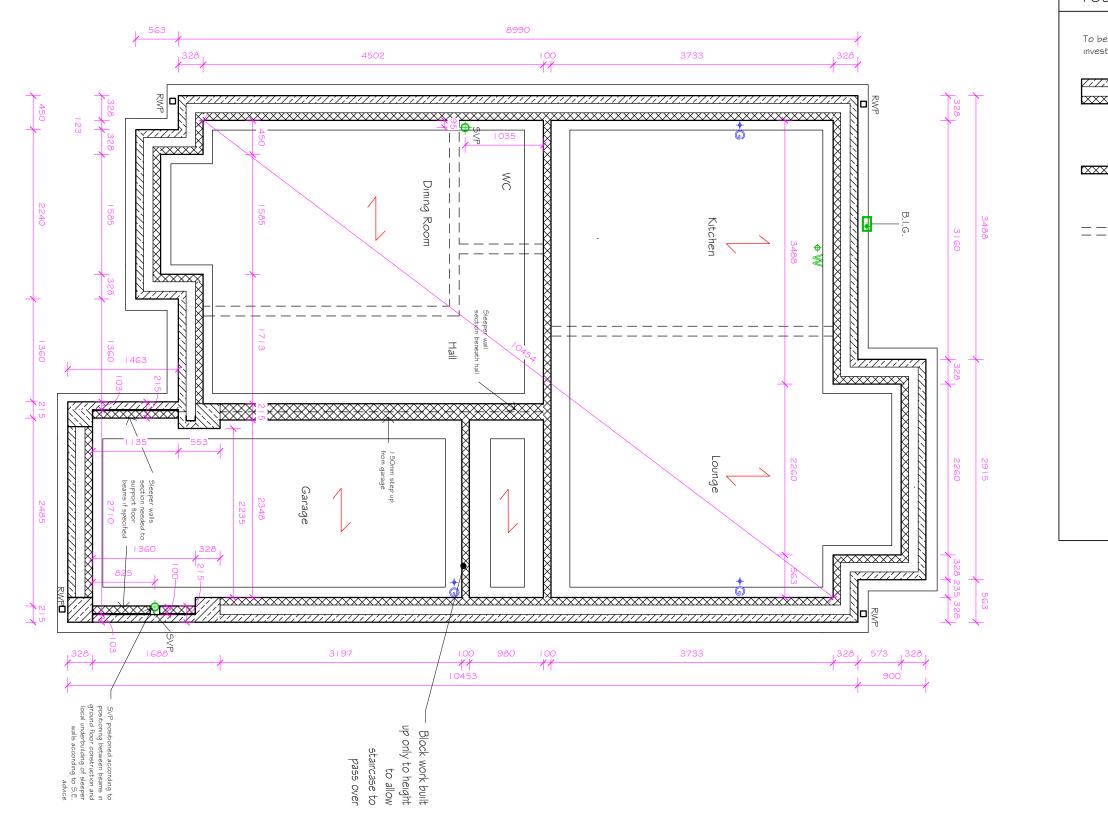
Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference Refer to Standard Detail Pack for further information

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TOP OF FOUNDATIONS PLAN

Seddon Homes	Drawing Title Denholme House Type	Date 08/0 Drawn CS	06/15 Status	Construction	Millson Associ Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client	Foundation Layout Project Title Long Lane, Chapel-en-le-Frith	Scale 1: Revision G 25/04	50 Size	A3 Prawing Number	Manchester, N info@millsona www.millsonas

### FOUNDATION LAYOUT

To be in accordance with recommendations given in site investigation report \$ Structural Engineers details.

-/-/-// XXXXX	Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks
XXXXXI	Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks
====	Non-load bearing wall at ground floor level built off ground floor slab

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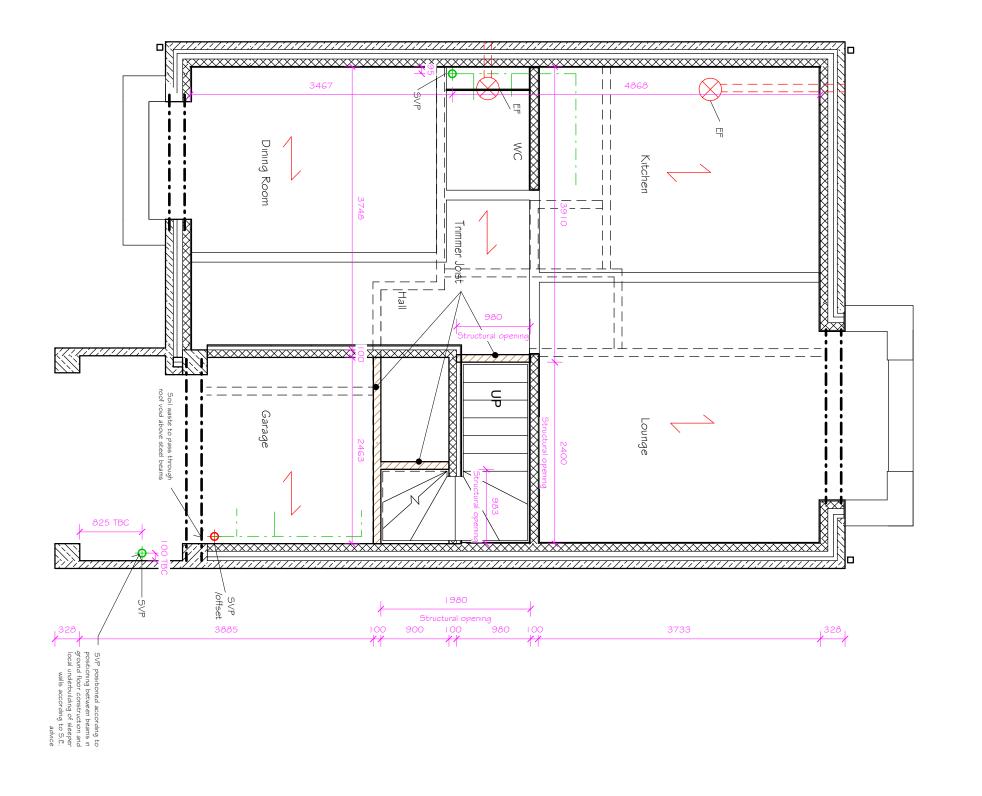
### INDICATIVE JOIST LAYOUT

#### Refer to joist manufacturers detailed joist layout. Joist design based on 220mm deep joists

30 x 5 x 1 400mm long galv. M.S. straps once bent @ 100mm @ 2000mm max. centres with 38 x 150mm solid bridging under where joist spans exceeds 3000mm.

Stairwell: Overall clear opening sizes are shown between face of blockwork and face of trimmers and do not include parge coat. All dimensions to be checked against manufacturer's installation instructions and any discrepancies reported.





JOIST PLAN - GROUND FLOOR PLAN WITH FIRST FLOOR OVER 1 : 50

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Seddon Homes	Drawing Title Denholme House Type	Date	08/06/	15 Status	Construction	Millson Associa
	Joist Plan - Ground Floor with First Floor	Drawn	CS	Checked	RB	Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB	Over Project Title	Scale	1 : 50	Size	A3	Manchester, M info@millsonas
T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309		Revis G	ion 25/04/17	۵ 1968-DEN-0	0 Drawing Number 19	www.millsonas

Horizontal flue system from boiler to run within floor void and terminate through external wall.

To be fitted in accordance with manufacturers installation details. Joists to be trimmed out accordingly.

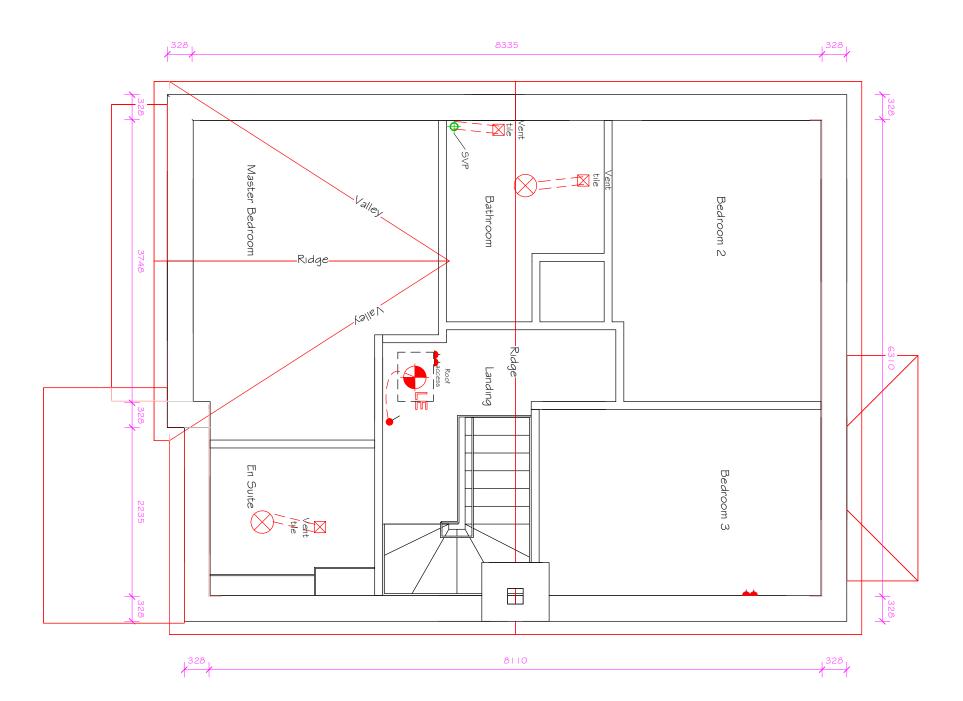
	Line of stud wall; nb: joists sizes increased or doubled-up under as per manufacturers design.
	Cavity masonry wall, see general specification.
××××××××	Block wall
=====	Non-load bearing walls at floor level above
75mm timber packers to top riser of staircase.	be fixed back to trimmer providing support for
Cooker hood and bathro	om extract fans to be taken within floor void

Cooker hood and bathroom extract fa to be take and ducted through to external walls. Refer to indicative floor joist layout for direction.

Ensuite & Bathroom waste to run within floor void and connect into adjacent SVP. Joists to be trimmed out in accordance with manufacturers design.

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Class 2 flue blocks vented to gas ridge terminal in accordance with manufacturer's design.

ROOF PLAN I : 50

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Seddon Homes		Drawing Title Denholme House Type	Date	08/06/1	5 Status	Construction	Millson Associa
		Roof Plan	Drawn	CS	Checked	RB	Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB		Project Title	Scale	1 : 50	Size	A3	Manchester, M info@millsonas
T: +44(0)1925 839500 W: seddonhomes.co.uk	Client	Long Lane, Chapel-en-le-Frith	Revisi G	ion 25/04/17	D 1968-DEN-1	rawing Number 0	www.millsonass

#### ROOF PLAN NOTES

#### INDICATIVE ROOF TRUSS LAYOUT Refer to joist manufacturers detailed roof plan for trusses & bracing. See section details for roof pitch

Trussed rafters @ 600mm centres.

Ceiling ties longitudinals, diagonals to be in strict accordance with BS.5268 Part 3: 1988.

Roof plan to specialist design with calculations and full bracing details submitted prior to work.

Separating walls are to be taken up to the underside of the roof covering  $\sharp$  suitably fire stopped using 50mm Rockwool or similar approved mineral quilt between the top of the cavity wall \$ underside of the roofing felt.

25mm mineral wool laid 300mm wide between the battens to create fire stop to void under tiles. Eaves protection to be constructed using 75mm semi-rigid vertical fire stop set back 100mm from cavity line \$ close fitted to back of the fascia.

Gable wall to be restrained by 30 x 5mm galv. M.S. straps once bent at 100mm build into cavity wall and fix to first three truss members. Timber packing pieces to be fixed between wall and truss. 75 x 50mm noggins fixed between roof trusses. Straps @ 2000mm max. centres.

I No. strap to be within 500mm of ridge.

#### ROOF ACCESS

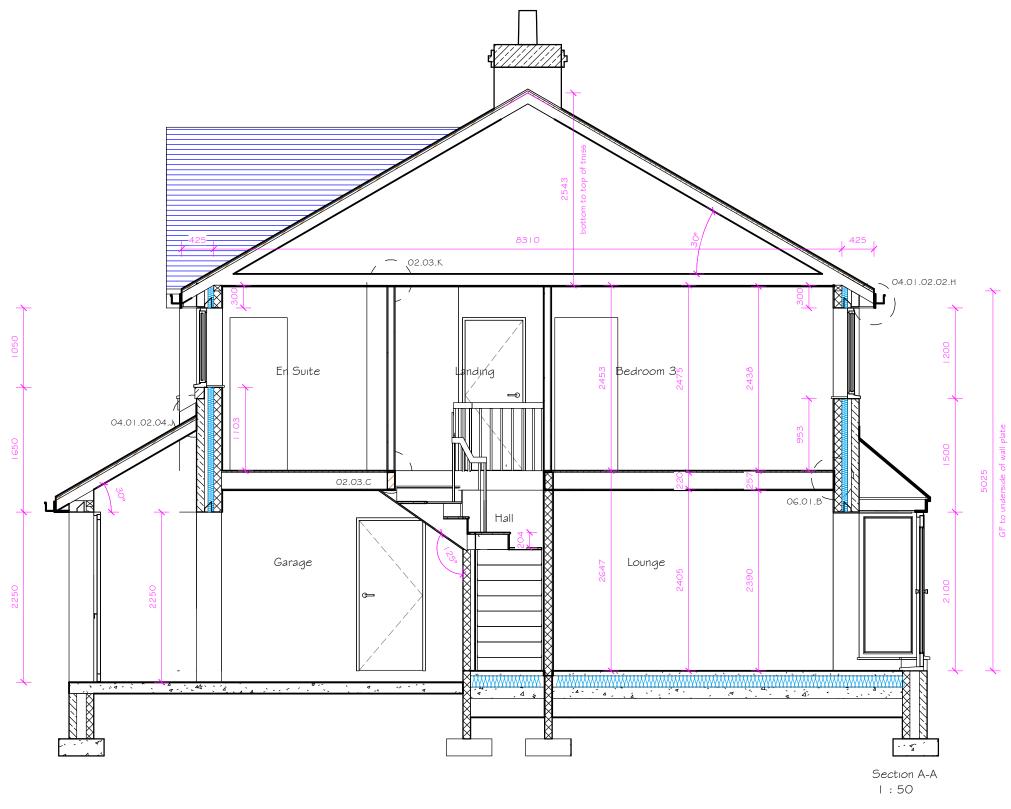
Draught proofed \$ insulated roof access hatch to provide minimum 30 minutes fire resistance.

#### RIDGE TERMINAL (where applicable)

Where there is to be a ridge terminal, the Angle of twin wall pipe between exit block and ridge terminal <u>must</u> exceed 45 deg.

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Seddon Homes		Drawing Title Denholme House Type Section A-A	Date Drawn	08/06/ CS	15 Status Checke	Construction ed RB	Millson Assoc Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	ent	Project Title Long Lane, Chapel-en-le-Frith	Scale Revis G	1 : 50 ion 25/04/17	Size 1968-DEN-	A3 Drawing Number 11	Manchester, N info@millsona www.millsona

### SECTION NOTES

38 x 100mm s.w. treated timber mono trusses to form front entrance lean to roof. Timber sizes & grade to be confirmed. Trusses to be hung off external wall & supported off timber purlins.

GROUND FLOOR TO FIRST FLOOR STAIRCASE: 13 No. risers @ 204mm 12 No. treads @ 235mm Max. pitch 42°.

Code 4 lead flashing or similar approved, cavity tray and DPC to all openings, reveals and abutments.

Level approach to entrance for part M

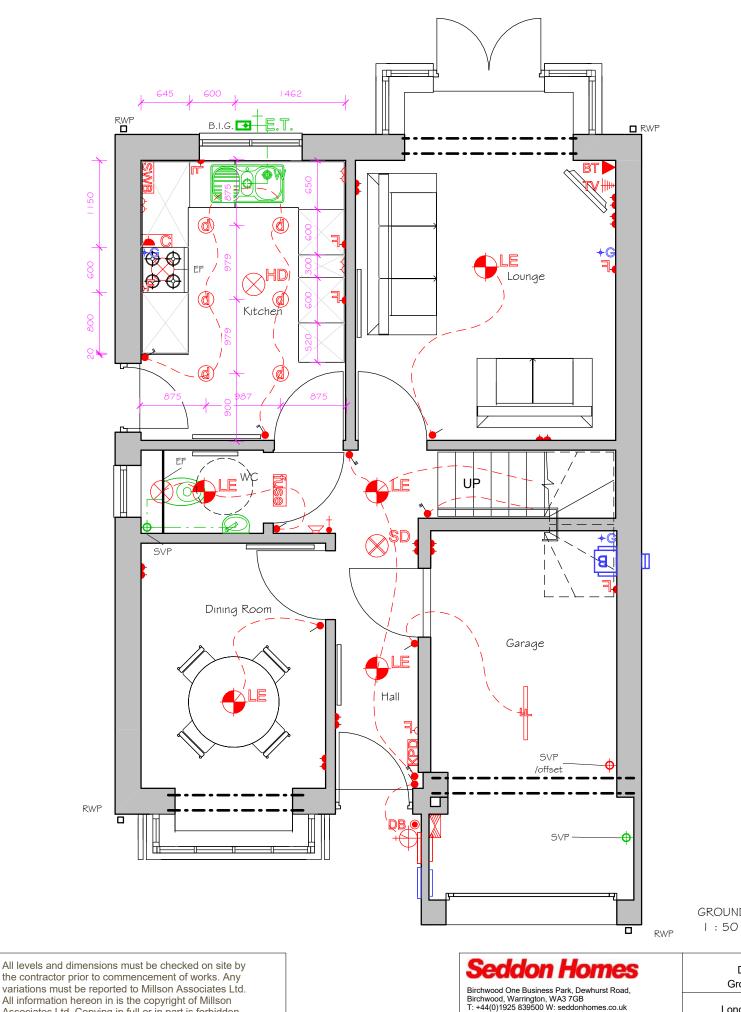
FOUNDATIONS AND GROUND FLOOR CONSTRUCTION ARE INDICATIVE ONLY AND SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS.

#### 100 x 75mm Wallplates

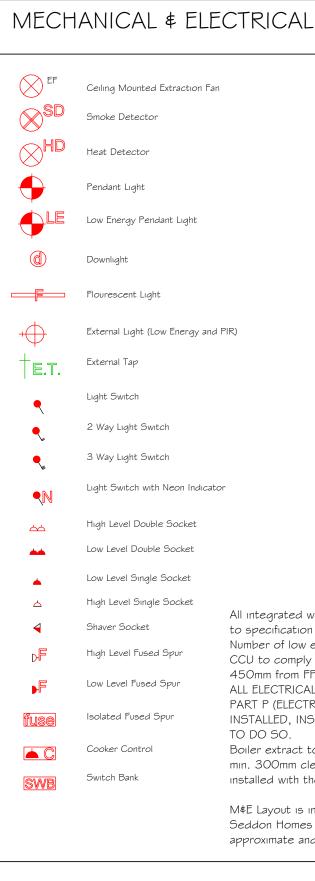
Sloping soffit to be provided between stairs \$ plaster finish following the line of the string  $\notin$  fixed to u\s of bottom rail.

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GROUND FLOOR M ∉ E LAYOUT

the contractor prior to commencement of works. Any variations must be reported to Millson Associates Ltd. All information hereon in is the copyright of Millson Associates Ltd. Copying in full or in part is forbidden without written permission from Millson Associates Ltd.

	Drawing Title	Date	08/06/1	15 Status	Construction	Millson Asso
	Denholme House Type Ground Floor M & E Layout	Drawn	CS	Checked	RB	Byron House
	Project Title	Scale	1 : 50	Size	A3	Manchester, info@millsor
011	Long Lane, Chapel-en-le-Frith	Revis	ion		rawing Number	www.millson
Client		G	25/04/17	1968-DEN-12	2	

ŢV₩₩	TV Output
BT	BT Output
DB •	Door Bell
+•	Thermostat
	Consumer Unit
¥	Door Bell Sounder
KPD	Burglar Key Pad
+G	Gas Connection Point
	Rainwater Pipe
<b>♦SFG</b>	Sealed Floor Gulley
♦W	Water Entry Point
- <b>◆</b> - [∨] P	Vent Pipe
- SVP	Soil & Vent Pipe
	SVP from floor above or below
⊕ ^{ss}	Stub stack, 1m high
- SVP AAV	SVP with Air Admittance Valve
<b>F</b>	Back Inlet Gulley
∎⊟В	Boiler
	Radiator
	Heated Towel Rail

All integrated white goods to be wired to switch bank. Refer to specification for further details.

Number of low energy light fittings to be confirmed by client. CCU to comply with ADM guideance and be mounted between 450mm from FFL and 1200mm high

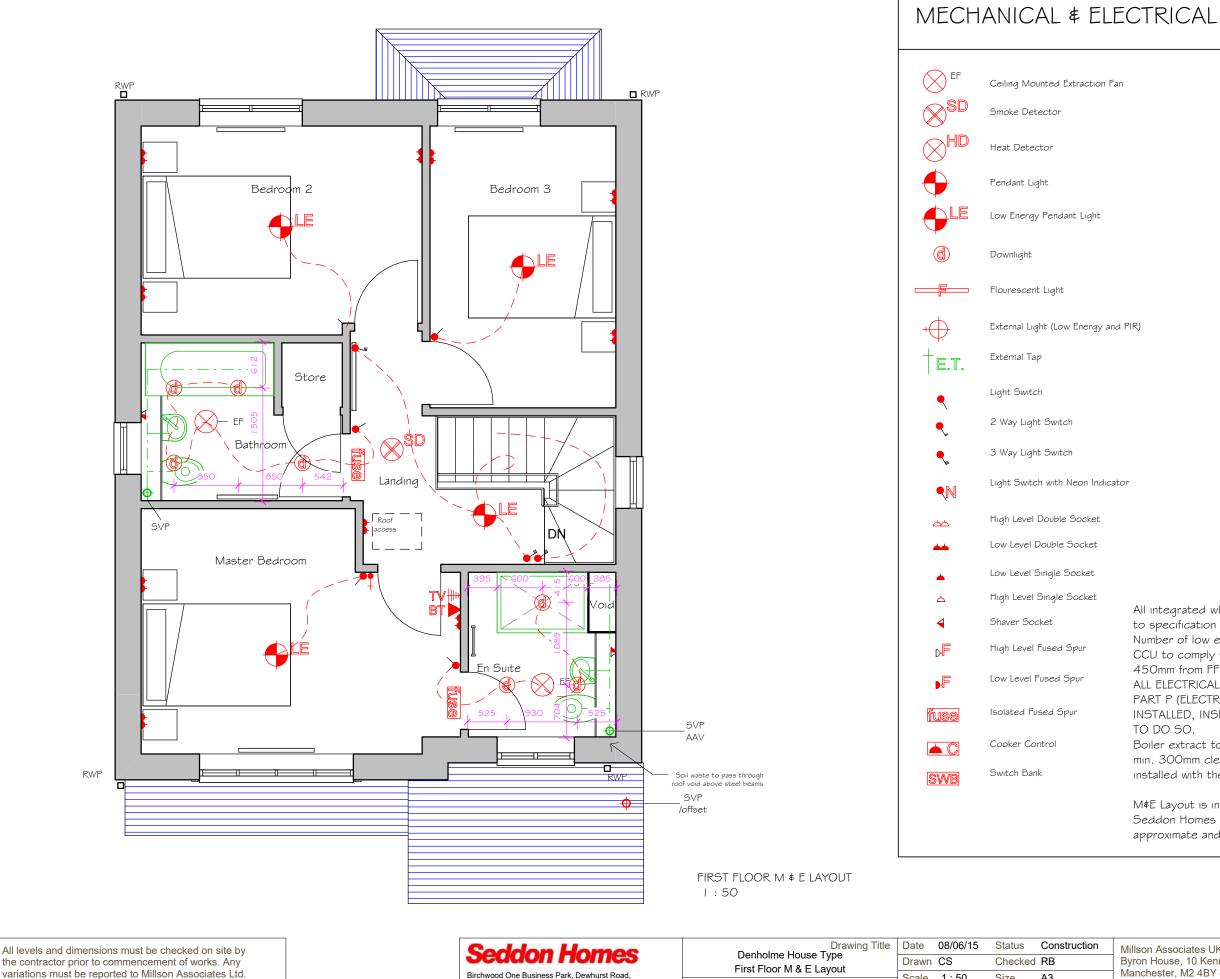
ALL ELECTRICAL WORK TO MEET THE REQUIREMENTS OF PART P (ELECTRICAL SAFETY). ALL WORK MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY A PERSON QUALIFIED

Boiler extract to be taken through to external grille. Ensure min. 300mm clear distance from any opening. Flues should be installed with the shortest length and as few joints as possible.

M&E Layout is indicative and should be read in conjunction with Seddon Homes Site Specification. Locations of all M&E are approximate and this plan should not be used to scale from.

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Seddon Homes	Drawing Title Denholme House Type First Floor M & E Lavout	Date 08/06 Drawn CS	/15 Status Construction Checked RB	Millson Associa Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	Project Title Long Lane, Chapel-en-le-Frith	Scale 1:50 Revision G 25/04/17	Drawing Number	Manchester, N info@millsonas www.millsonas

ŢV╫┉	TV Output
BT	BT Output
DB •	Door Bell
+•	Thermostat
	Consumer Unit
¥	Door Bell Sounder
KPD	Burglar Key Pad
+G	Gas Connection Point
RWP	Rainwater Pipe
<b>⇔SFG</b>	Sealed Floor Gulley
♦W	Water Entry Point
	Vent Pipe
• SVP	Soil & Vent Pipe
	SVP from floor above or below
- <b>-</b>	Stub stack, 1 m high
- SVP AAV	SVP with Air Admittance Valve
<b>₽</b>	Back Inlet Gulley
∎=В	Boiler
	Radiator
	Heated Towel Rail

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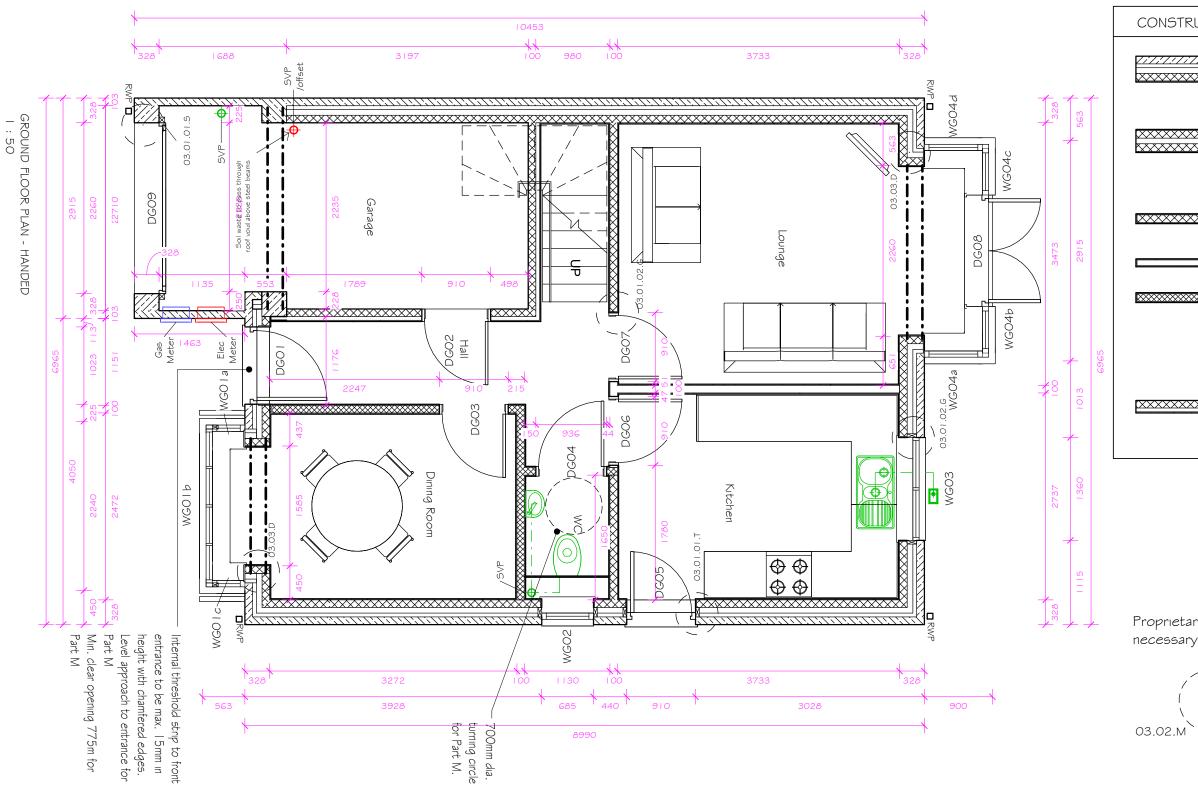
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Seddon Homes	Drawing Title	Date	08/06/1	5 Status	Construction	Millson Associ
Secucin nomes	Denholme House Type Ground Floor Plan - Handed	Drawn	CS	Checked	RB	Byron House,
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB	Project Title	Scale	1 : 50	Size	A3	Manchester, N info@millsona
T: +44(0)1925 839500 W: seddonhomes.co.uk	Long Lane, Chapel-en-le-Frith	Revisi	ion		rawing Number	www.millsonas
Registered in England No 305309 Client		G	25/04/17	1968-DEN-1	4	

### CONSTRUCTION

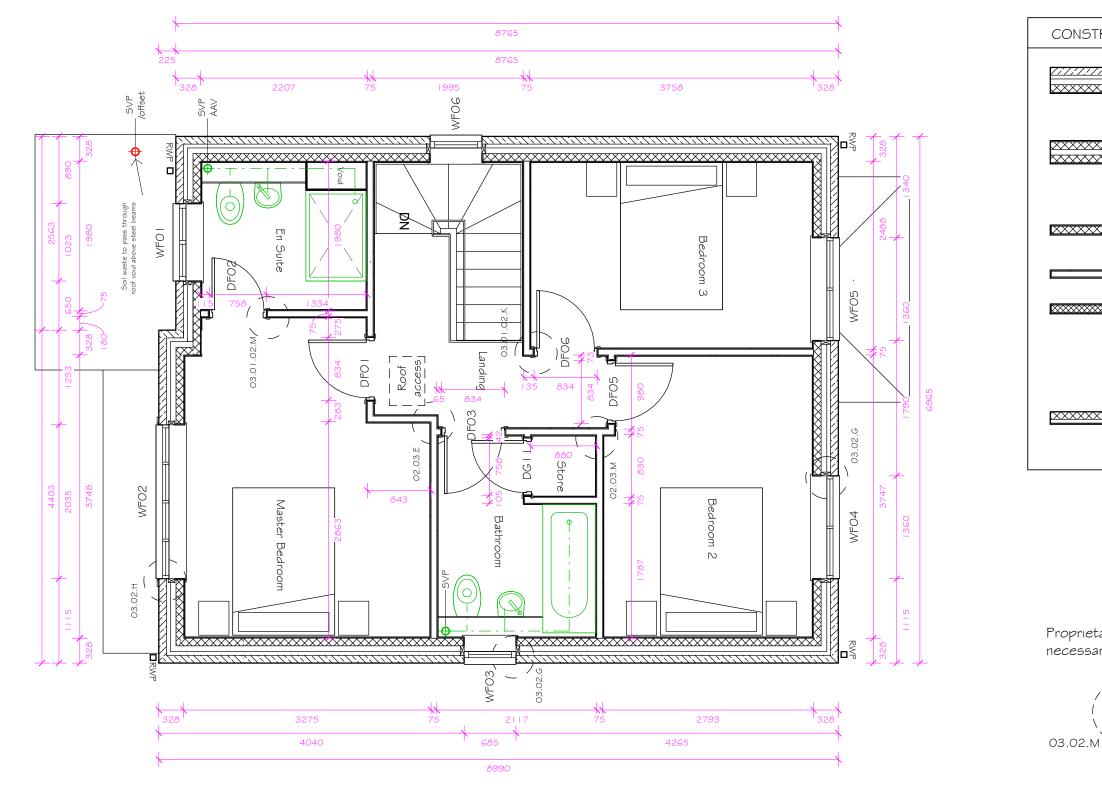
· <u>//////</u> ·XXXXX	EXTERNAL WALL CONSTRUCTION 100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear \$ 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.
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~~~~~	INTERNAL LOADBEARING BLOCK 100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.
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Proprietary cavity fire socks to be provided where

Standard Detail Reference Refer to Standard Detail Pack for further information

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FIRST FLOOR PLAN 1 : 50

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Secidon Homes Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client	Denholme House Type First Floor Plan - Handed Project Title	Drawn C Scale 1 Revision	1 : 50 n	Checked Size	A3 Drawing Number	Millson Assoc Byron House, Manchester, M info@millsona www.millsona
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CONSTRUCTION

	<u>KTERNAL WALL CONSTRUCTION</u> OV/102.5mm Stone facing outer leaf. 125mm avity 50mm clear ¢75mm partial fill insulation. O0mm block inner leaf with 12.5mm asterboard on dabs with skim finish.
2 Ri In Pl	ARTY WALL CONSTRUCTION No. leaves 100mm to be in accordance with obust Detail EWM17. Provided full fill cavity sulation with 12.5mm (nominal 9.8kg/m2) asterboard on dabs with skim finish on both des.
	ITERNAL LOADBEARING BLOCK OOmm block with 12.5mm plasterboard on abs with skim finish to both sides.
N	ON LOAD-BEARING PARTITIONS
	ITERNAL NON LOAD-BEARING BLOCK OOmm block with 12.5mm plasterboard on abs with skim finish to both sides.
D Ri	<u>ORMA-WINDOW WALL CONSTRUCTION</u> enotes indicative dorma wall construction. efer to dorma manufacturers specification and stails
6	ITERNAL WALL TO GARAGE OOmm block leaf to garage face with a nominal 5mm insulated plasterboard to the habitable bom sides.

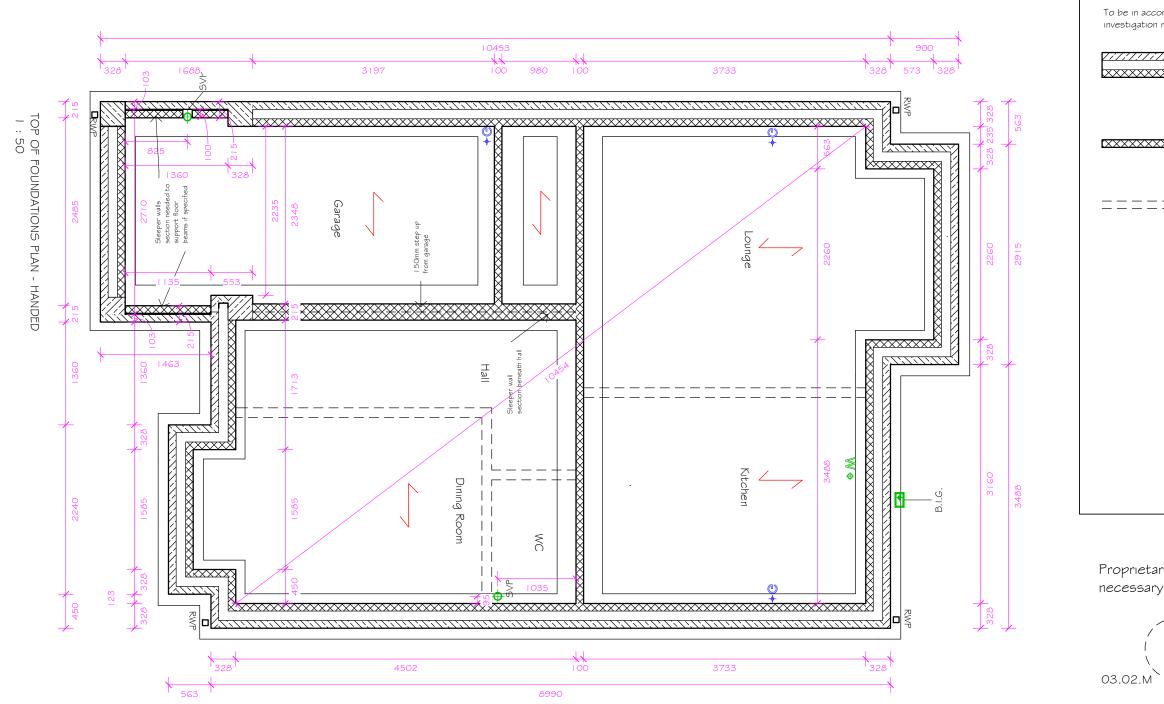
Proprietary cavity fire socks to be provided where necessary



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Section Homes Drawing Title Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB Denholme House Type T: +44(0)1925 839500 W: seddonhomes.co.uk Project Title E: sales@seddonhomes.co.uk Client	Drawn CS	Checked : 50 Size	A3 rawing Number	Millson Associ Byron House, Manchester, M info@millsona www.millsonas
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FOUNDATION LAYOUT

To be in accordance with recommendations given in site investigation report \$ Structural Engineers details.

*/://///	Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks
XXXXXI	Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks
===	Non-load bearing wall at ground floor level built off ground floor slab

Proprietary cavity fire socks to be provided where necessary

Standard Detail Reference Refer to Standard Detail Pack for further information

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DOOR SPECIFICATION

General - The provision of Fire Safety shall be in accordance with AD Part B, Resistance to the Passage of Sound with Part E and Access & Facilities for the Disabled with Part M of the Building Regulations.

External Doors - 44mm external doors to be steel faced, insulated \$ weather-sealed, having a min. 775mm clear opening \$ accessible threshold. Frame to be softwood with composite cill, including an adjustable Part M compliant threshold strip.

Internal Doors - (REFER TO SPECIFICATION FOR STYLE) Internal doors to habitable rooms (as defined by AD Part M) on the entrance or principle storey shall have min. clear opening width of 775mm. Corridors shall have a min. clear width of 900mm when approached head on or 1050mm clear width when not approached head on. W.C. compartments shall be provided on the entrance or principle storey and have outward opening doors.

Internal Fire Doors - Three storey housing shall have a protected stairway offering 30min. fire resistance. All doors opening onto the stairway shall be self closing, min. FD20 fire doors. Interconnecting doors between a dwelling and garage shall be self closing FD30 fire doors.

						DOOR S	CHEDUL	E
Door Number	Floor Level	Door Style	Door Panel Width	Door Panel Height	S.O. Width	S.O. Height	Fire Rating	
DGOI	GF	External Style A	926	2056	1023	2100		Obscured a
DGO2	GF	Internal Single	838	1981	910	2025	FD30S	Internal do
DGO3	GF	Internal Single	838	1981	910	2025	FD20	
DGO4	GF	Internal Single	864	1981	936	2025	FD20	
DGO5	GF	External Style B	807	2013	910	2100		Obscured a
DGOG	GF	Internal Single	838	1981	910	2025	FD20	
DG07	GF	Internal Single	838	1981	910	2025	FD20	
DG08	GF	External Style D	686	1993	1473	2100		Double Doo side windo
DGO9	GF	Garage Door V			2260	2250		Main garag
DFOI	FST	Internal Single	762	1981	834	2025	FD20	
DF02	FST	Internal Single	686	1981	758	2025		
DF03	FST	Internal Single	762	1981	834	2025	FD20	
DF05	FST	Internal Single	762	1981	834	2025	FD20	
DFOG	FST	Internal Single	762	1981	834	2025	FD20	

686

DOOR STYLES 1:50

DGII

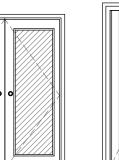
External Style A

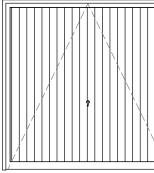
FST

External Style B

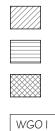
External Style D

Garage Door V





GLAZING

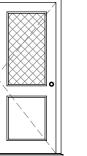


Toughened safety glass Obscured glass

Obscured toughend safety glass

Window reference (refer to plan \$ elevations). N.B. WG, WF, WS, etc refer to floor level.





Internal Single



1981

758

2025



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Seddon Homes	Drawing Title Denholme House Type	Date Drawn	08/06/ [,] CS	15 Status Checked	Construction RB	Millson Associa Byron House, 1
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309 Client	Door Schedule	Scale Revis	1 : 50 ion 25/04/17	Size D 1968-DEN-D	A3 Drawing Number DS	Manchester, M info@millsonas www.millsonas
		-	20/0 1/11			

Comments

and toughened glazing oor to garage. With self closer.

and toughened glazing

pors. Toughened glazing. Part of square bay window set with ows (see window schedule) ge door

Internal Single





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WINDOW SPECIFICATION:

Provide standard double glazed (BS5713) draught sealed timber / PVCu windows. Windows shall provide rapid ventilation in habitable rooms to at least 1/20th floor area, part of which being 1750mm above floor. Trickle ventilation to be provided in accordance with manufacturer's guidelines with openable vent areas of 8,000mm² \$ 4,000mm² to habitable rooms \$ non-habitable rooms respectively.

Glazing in critical locations shall be detailed in accordance with AD Part N. $% \left({{\rm AD}} \right)$

Below 800mm measured from floor level for glazed screens $\ensuremath{\$}$ windows.

Below I 500mm measured from floor level for doors and any side panels within 300mm of the door. Glazing in this area shall be toughened safety glass to BS 6262 : Part 4.

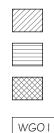
Egress windows to be provided in accordance with AD Part B. Such windows shall have a minimum unobstructed opening area of $0.33m^2$, provided by an opening of at least 450mm high \$ 450mm wide, with the lowest part of the opening located no higher than 1100mm above floor level. Egress hinges to have restrictors with emergency override.

Window cills shall have an anti-capillary drip and project beyond the external face of the wall or any sub cill by at least 25mm. The frame must be located in the reveal so that there is a 30mm min. overlap with the cavity closer to reduce the effect of cold bridging around openings. Windows shall provide a max. 'U' value of $2.0W/m^2K$. This U-value is an area weighted value and is applicable only where the total area of doors, windows \ddagger roof lights does not exceed 25% of the total area. Consider the CDM Regulations 1994 regarding access to windows and the arrangement of opening lights, so that safe access for cleaning is possible, especially those windows serving the 3rd storey \ddagger above.

Obscure glass shall be 'Cotswold' pattern and be provided in windows to Bathrooms, W.C.'s & En suites, together with front entrance doors and side screens where non-decorative obscured glazing is specified. The Cotswold glass will form the inner pane of the sealed double glazed unit.

All dimensions shown on this drawing are structural opening sizes; actual window sizes may vary dependant on desired tolerance.

GLAZING



Toughened safety glass

Obscured glass

Obscured toughend safety glass

Window reference (refer to plan ¢ elevations). N.B. WG, WF, WS, etc refer to floor level.

ULE	V SCHED	WINDOV					
	Escape Window	Sıll Heıght	S.O. Height	S.O. Width	Window Style	Floor Level	Window Number
Part of bay		900	1200	430	Window Style 1.8	GF	WGOla
Part of bay		900	1200	2035	Window Style 4.8	GF	WGOIb
Part of bay		900	1200	430	Window Style 1.8	GF	WGOIc
Obscured g		1050	1050	685	Window Style 1.0	GF	WGO2
		1050	1050	1360	Window Style 2.0	GF	WGO3
Toughened door sched		150	1950	767	Window Style 1.0	GF	WGO4a
Toughened door sched		150	1950	619	Window Style 1.0	GF	WGO4b
Toughened door sched		150	1950	619	Window Style 1.0	GF	WGO4c
Toughened door sched		150	1950	767	Window Style 1.0	GF	WGO4d
Obscured g		1103	1050	1023	Window Style 2.8	FST	WFO I
		953	1200	2035	Window Style 4.8	FST	WFO2
Obscured g		1103	1050	685	Window Style 1.0	FST	WF03
		953	1200	1360	Window Style 2.0	FST	WF04
		953	1200	1360	Window Style 2.0	FST	WF05
Fixed Light.		428	1050	685	Window Style 1.0	FST	WFOG

WINDOW STYLES

1:50

Window Style 1.0 Window Style 1.8 Window Style 2.0

Window Style 2.8









Seddon Homes		Drawing Title	Date	08/06/1	5 Status	Construction
Secucinnomes		Denholme House Type Window Schedule	Drawn	CS	Checked	RB
Birchwood One Business Park, Dewhurst Road, Birchwood, Warrington, WA3 7GB		Project Title	Scale	1 : 50	Size	A3
T: +44(0)1925 839500 W: seddonhomes.co.uk E: sales@seddonhomes.co.uk Registered in England No 305309	Client	Long Lane, Chapel-en-le-Frith	Revis G	ion 25/04/17	٦ 1968-DEN-V)rawing Number VS

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Comments

window set. Fixed light window set window set. Fixed light

glazıng

a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule) a glazing. Fixed light. Part of square bay window set (See also dule)

glazıng

glazıng

Obscure & Toughened safety glazing

Window Style 4.8

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