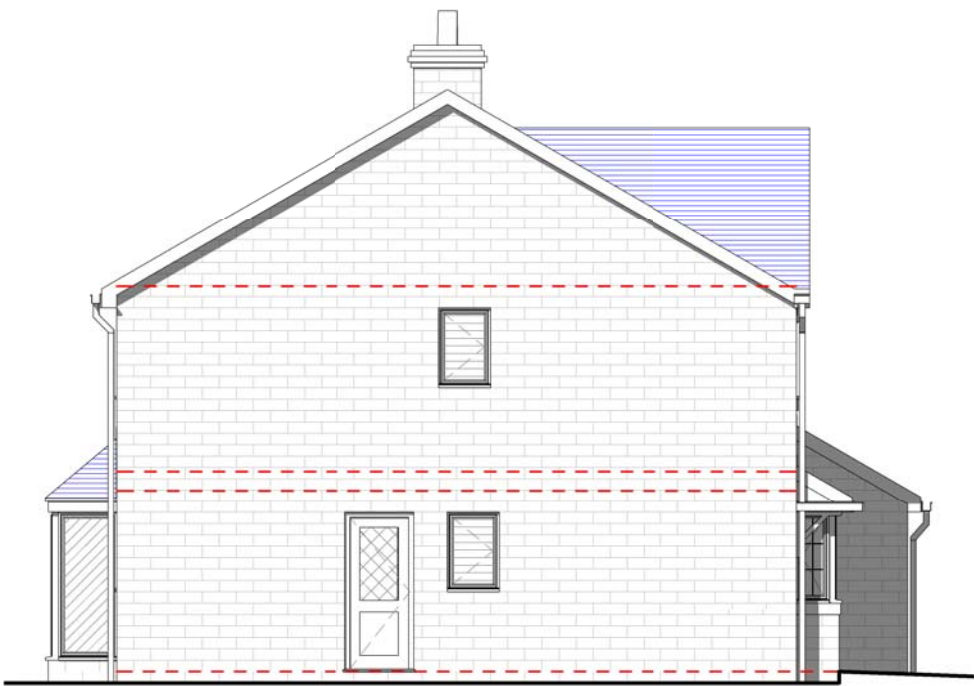




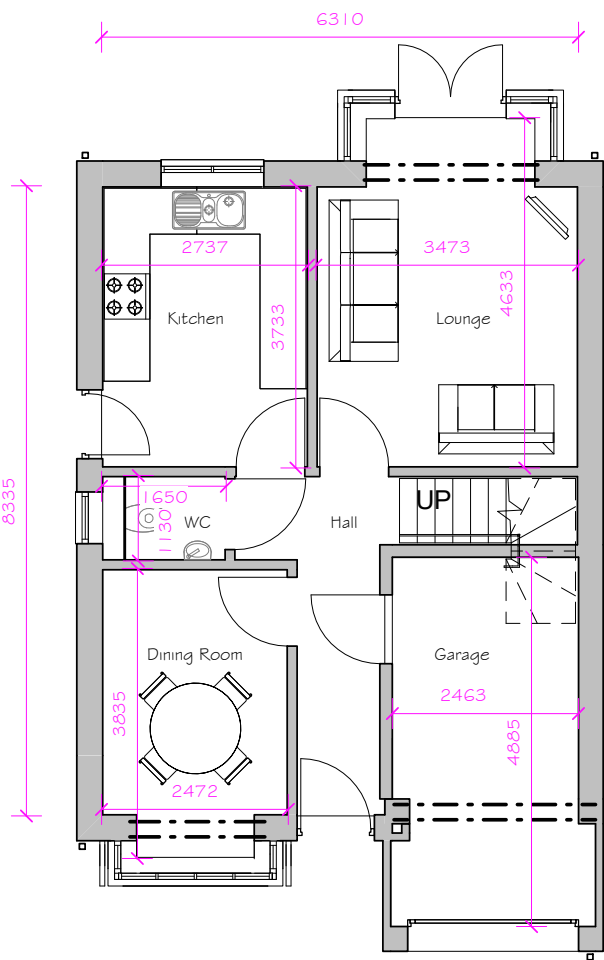
FRONT ELEVATION OVERVIEW
1 : 100



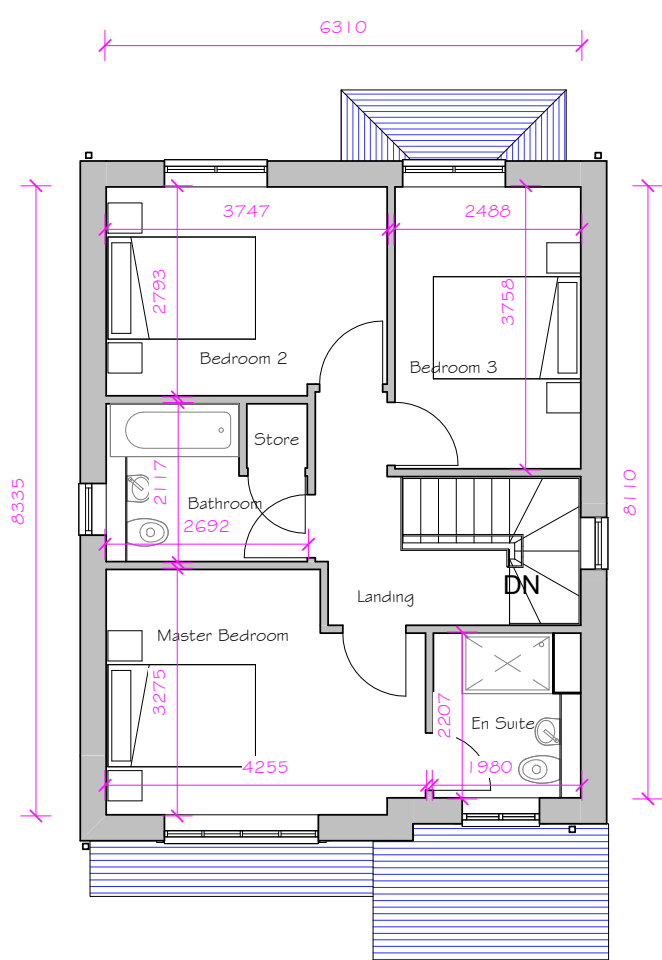
REAR ELEVATION OVERVIEW
1 : 100



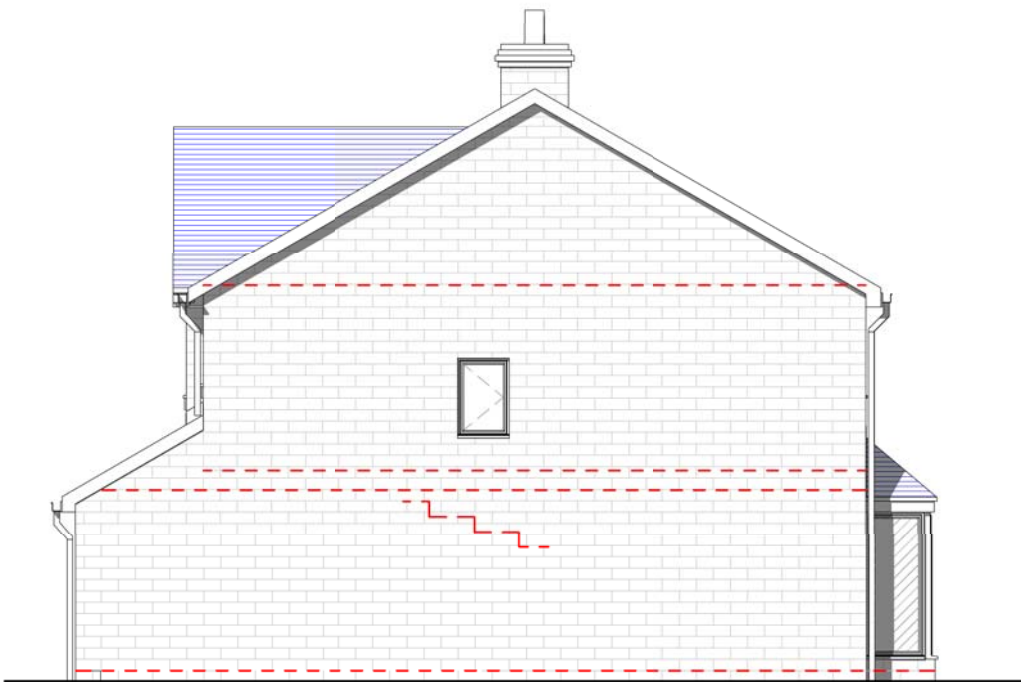
LEFT SIDE ELEVATION OVERVIEW
1 : 100



GROUND FLOOR PLAN OVERVIEW
1 : 100



FIRST FLOOR PLAN OVERVIEW
1 : 100



RIGHT SIDE ELEVATION OVERVIEW
1 : 100

AREA SCHEDULE (Gross Internal Area)			
Area reference	Level	Area Sq.m	Area Sq.ft
Ground Floor	GF	46.494 m ²	500.460 ft ²
First Floor	FST	52.017 m ²	559.909 ft ²
		98.512 m ²	1060.370 ft ²

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Client

Drawing Title
Denholme House Type
Plans and Elevations Overview

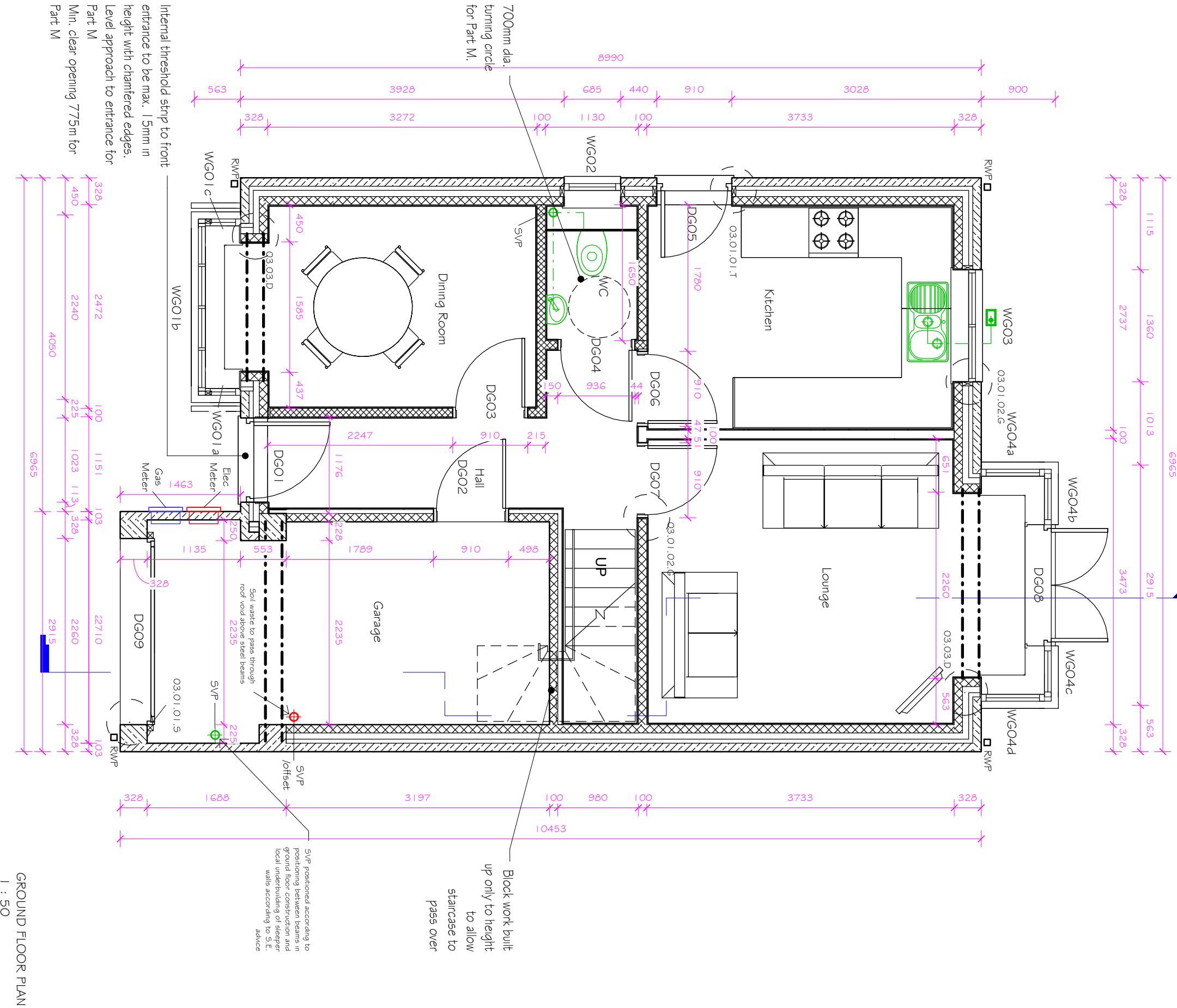
Project Title
Long Lane, Chapel-en-le-Frith

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 100	Size	A3
Revision	G	25/04/17	Drawing Number 1968-DEN-01

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CONSTRUCTION

EXTERNAL WALL CONSTRUCTION

100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear & 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.

PARTY WALL CONSTRUCTION

2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides.

INTERNAL LOADBEARING BLOCK

100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.

NON LOAD-BEARING PARTITIONS

INTERNAL NON LOAD-BEARING BLOCK

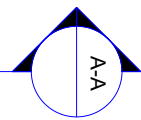
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.

DORMER-WINDOW WALL CONSTRUCTION

Denotes indicative dormer wall construction. Refer to dormer manufacturers specification and details

INTERNAL WALL TO GARAGE

100mm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides.



Proprietary cavity fire socks to be provided where necessary

Standard Detail Reference
Refer to Standard Detail Pack for further information

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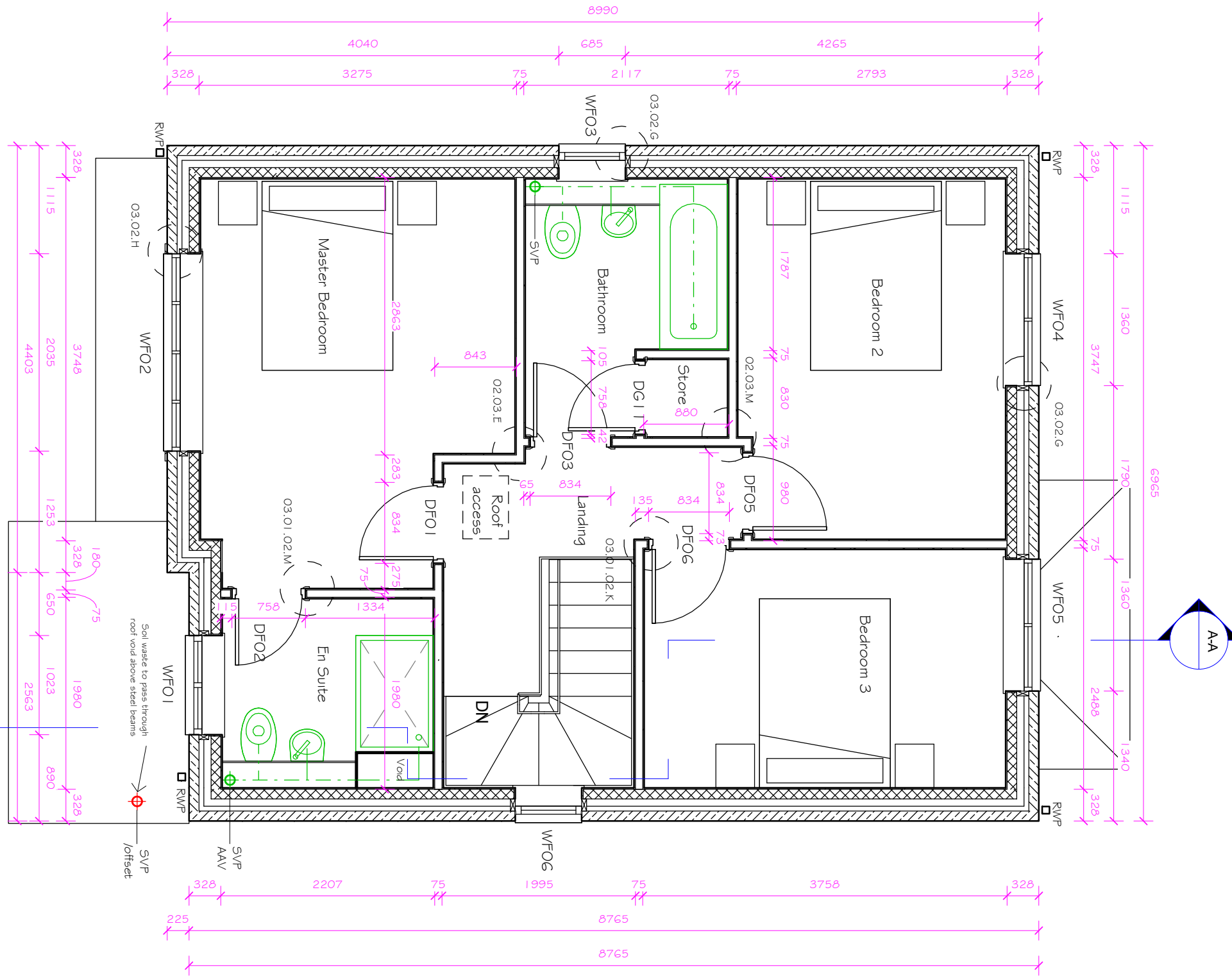
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	Denholme House Type Ground Floor Plan		Drawn	CS	Checked	RB
	Project Title		Scale	1 : 50	Size	A3
	Long Lane, Chapel-en-le-Frith		Revision	G	Drawing Number	
Client			25/04/17		1968-DEN-02	

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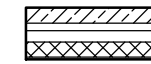
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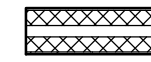
GROUND FLOOR PLAN
1 : 50



CONSTRUCTION



EXTERNAL WALL CONSTRUCTION
100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear & 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.



PARTY WALL CONSTRUCTION
2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides.



INTERNAL LOADBEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.



NON LOAD-BEARING PARTITIONS



INTERNAL NON LOAD-BEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.

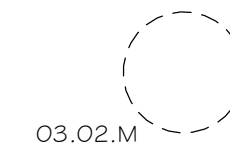


DORMA-WINDOW WALL CONSTRUCTION
Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details



INTERNAL WALL TO GARAGE
100mm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides.

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack
for further information

FIRST FLOOR PLAN
1 : 50

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Client

Drawing Title
Denholme House Type
First Floor Plan

Project Title
Long Lane, Chapel-en-le-Frith

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-03
	25/04/17		

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GLAZING



Toughened safety glass



Obscured glass

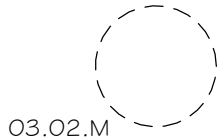


Obscured toughend safety glass

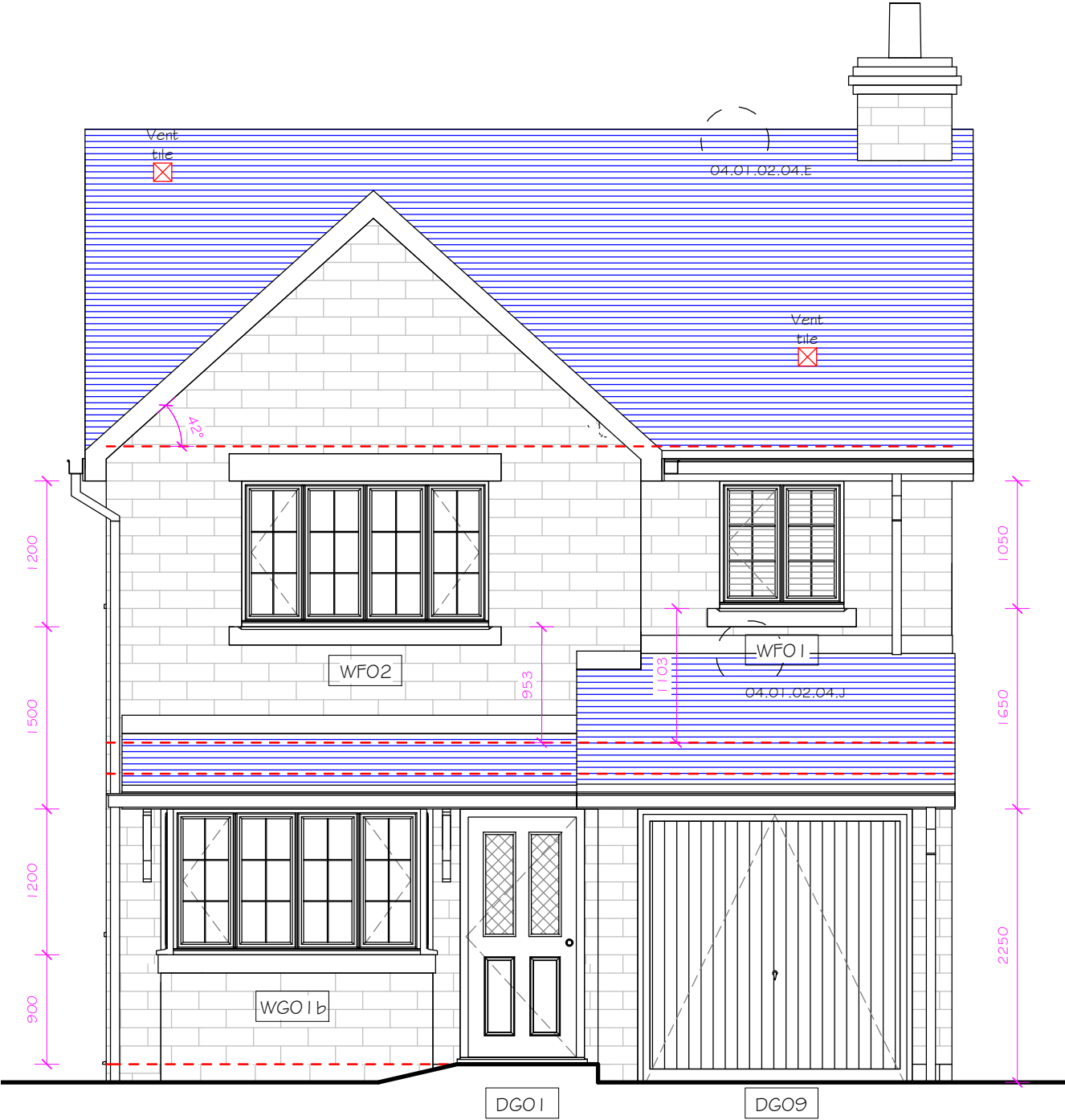
WGO1

Window reference (refer to plan & elevations).
N.B. WG, WF, WS, etc refer to floor level.

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack
for further information



FRONT ELEVATION
1 : 50

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Client

Denholme House Type
Front Elevation

Project Title
Long Lane, Chapel-en-le-Frith

Drawing Title





Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-04
	25/04/17		

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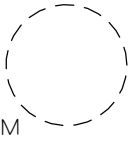
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GLAZING

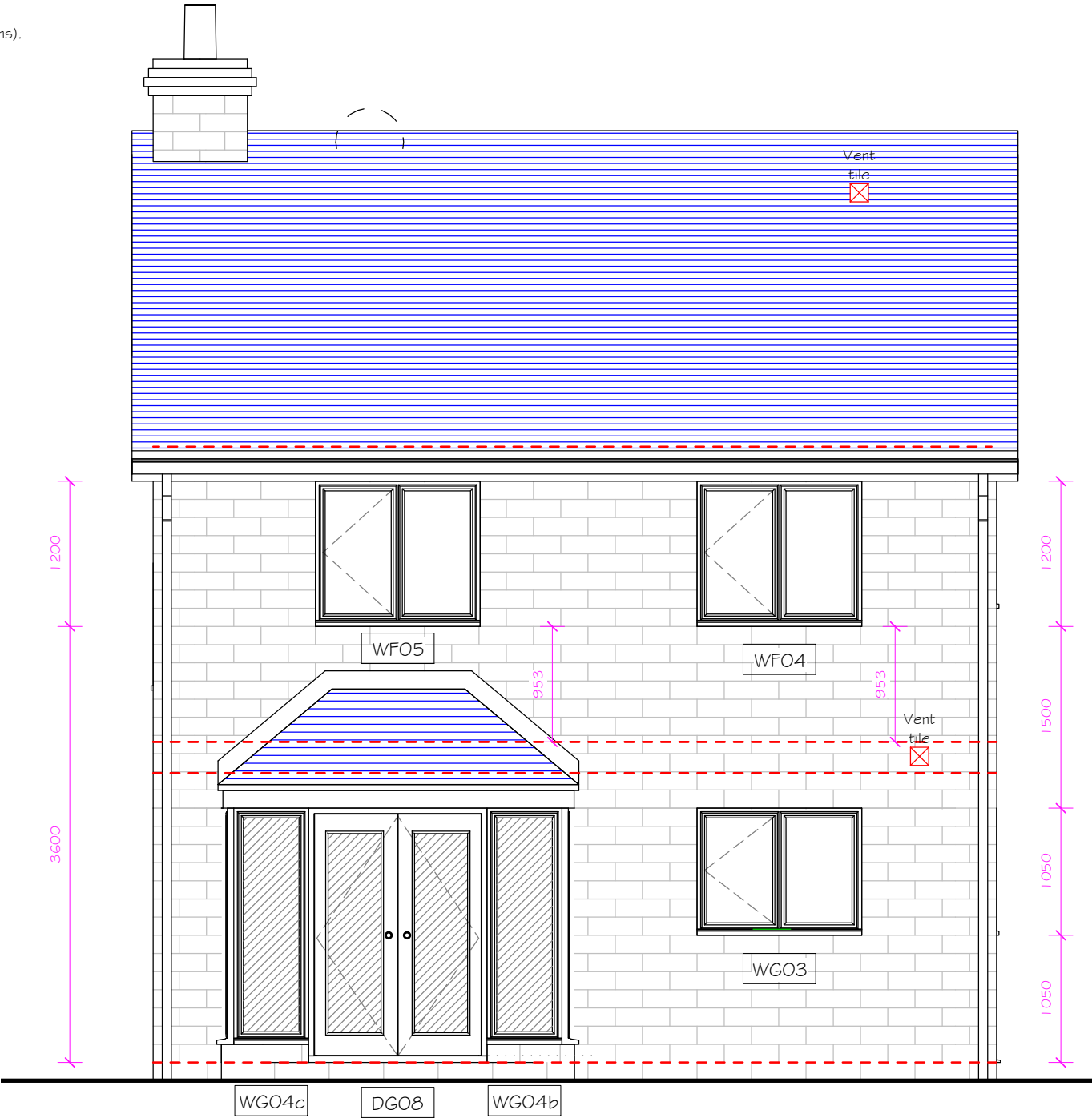
-  Toughened safety glass
-  Obscured glass
-  Obscured toughend safety glass
-  Window reference (refer to plan & elevations).
N.B. WG, WF, WS, etc refer to floor level.

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack
for further information

03.02.M



REAR ELEVATION
1 : 50

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Client

Drawing Title
Denholme House Type
Rear Elevation
Project Title
Long Lane, Chapel-en-le-Frith

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-05
25/04/17			

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GLAZING

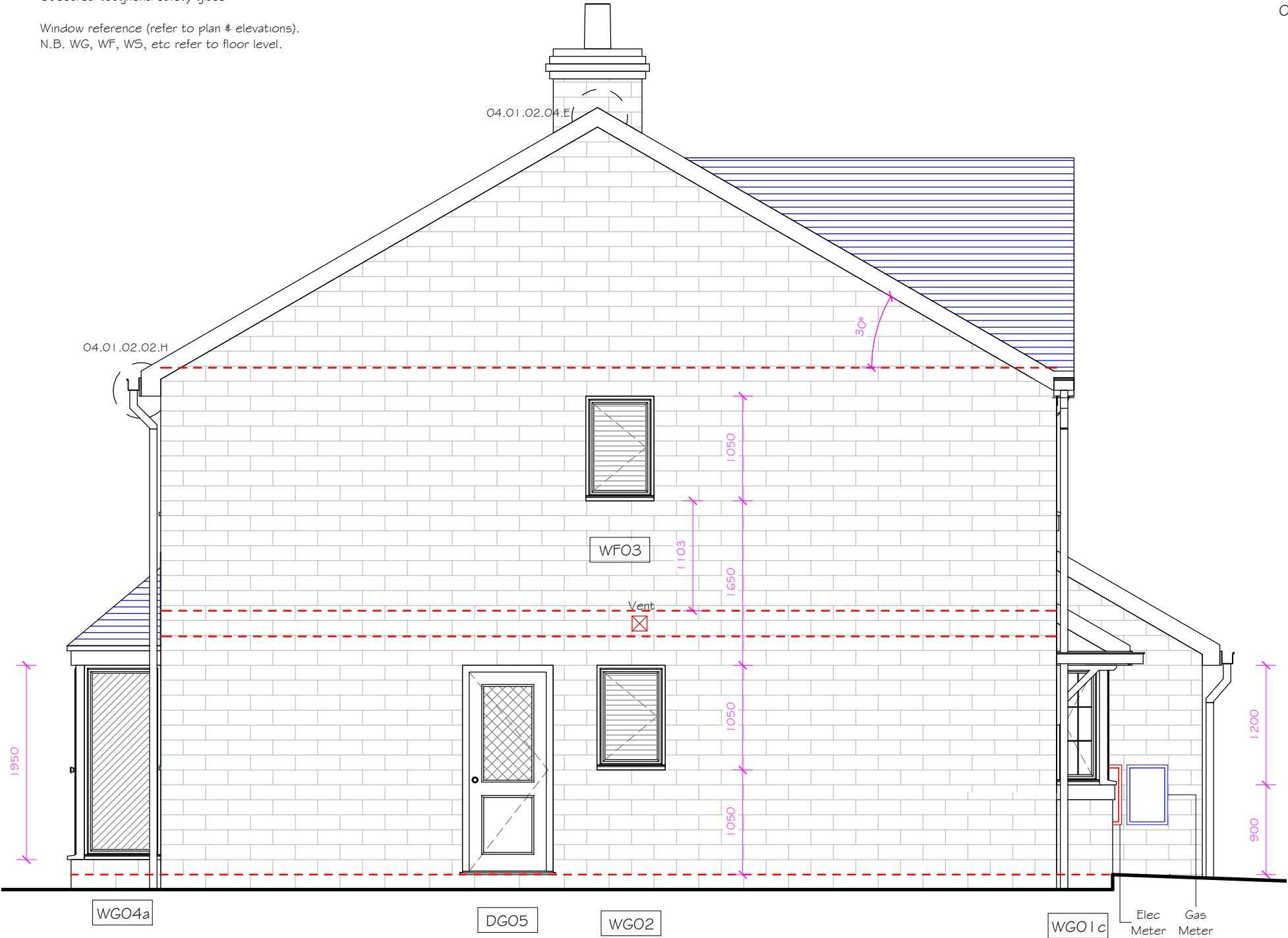
- Toughened safety glass
- Obscured glass
- Obscured toughend safety glass
- WGO1

Window reference (refer to plan & elevations).
N.B. WG, WF, WS, etc refer to floor level.

Proprietary cavity fire socks to be provided where necessary

03.02.M

Standard Detail Reference
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LEFT SIDE ELEVATION
1 : 50

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Client

Denholme House Type
Left Side Elevation

Project Title
Long Lane, Chapel-en-le-Frith

Drawing Title

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-06
	25/04/17		

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GLAZING

Toughened safety glass

Obscured glass

Obscured toughend safety glass

WGO 1

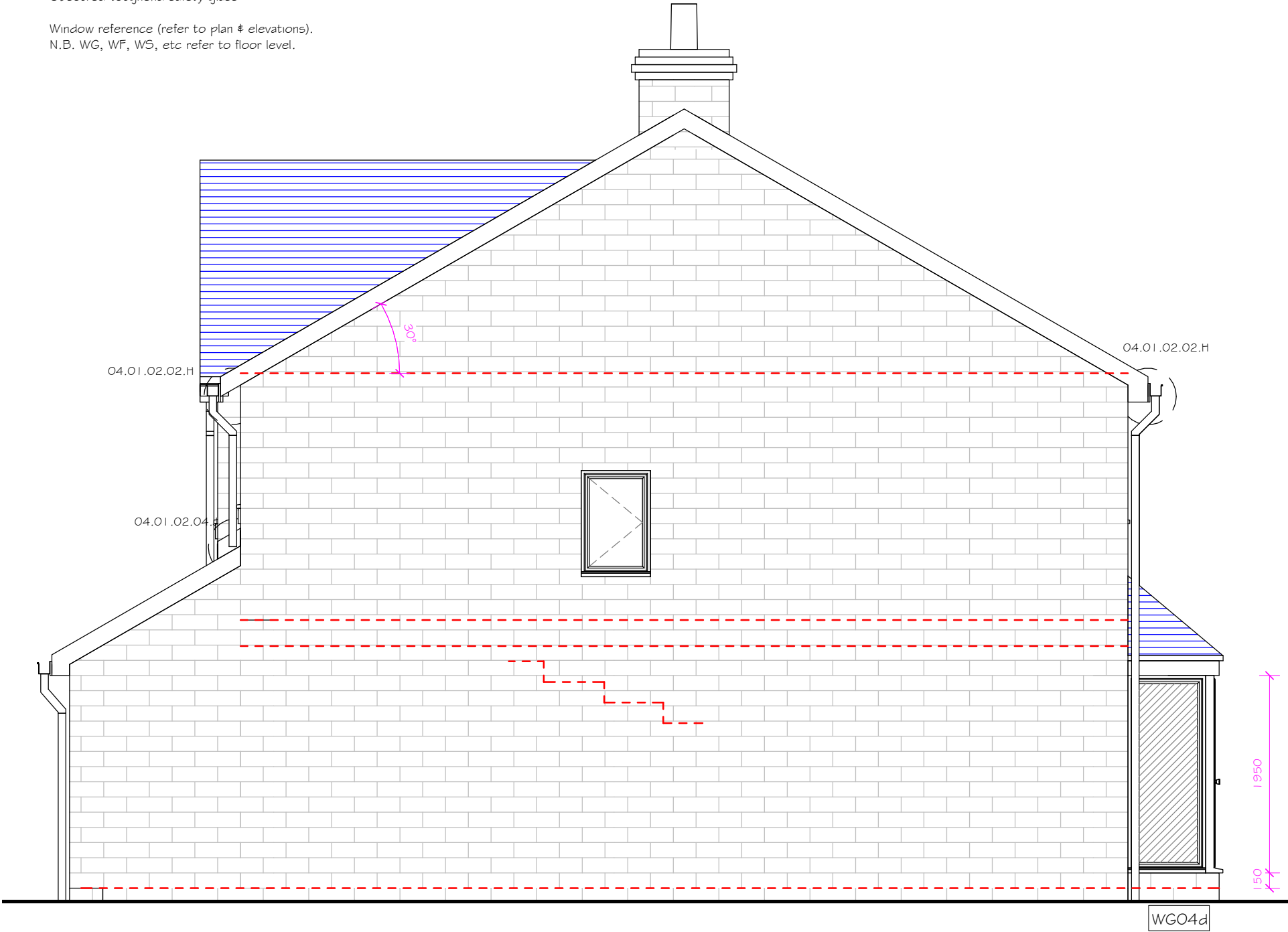
Window reference (refer to plan & elevations).
N.B. WG, WF, WS, etc refer to floor level.

Proprietary cavity fire socks to be provided where necessary

03.02.M

Standard Detail Reference

Refer to Standard Detail Pack for further information



RIGHT SIDE ELEVATION
1 : 50

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Client

Denholme House Type
Right Side Elevation

Long Lane, Chapel-en-le-Frith

Drawing Title

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	25/04/17	Drawing Number
			1968-DEN-07

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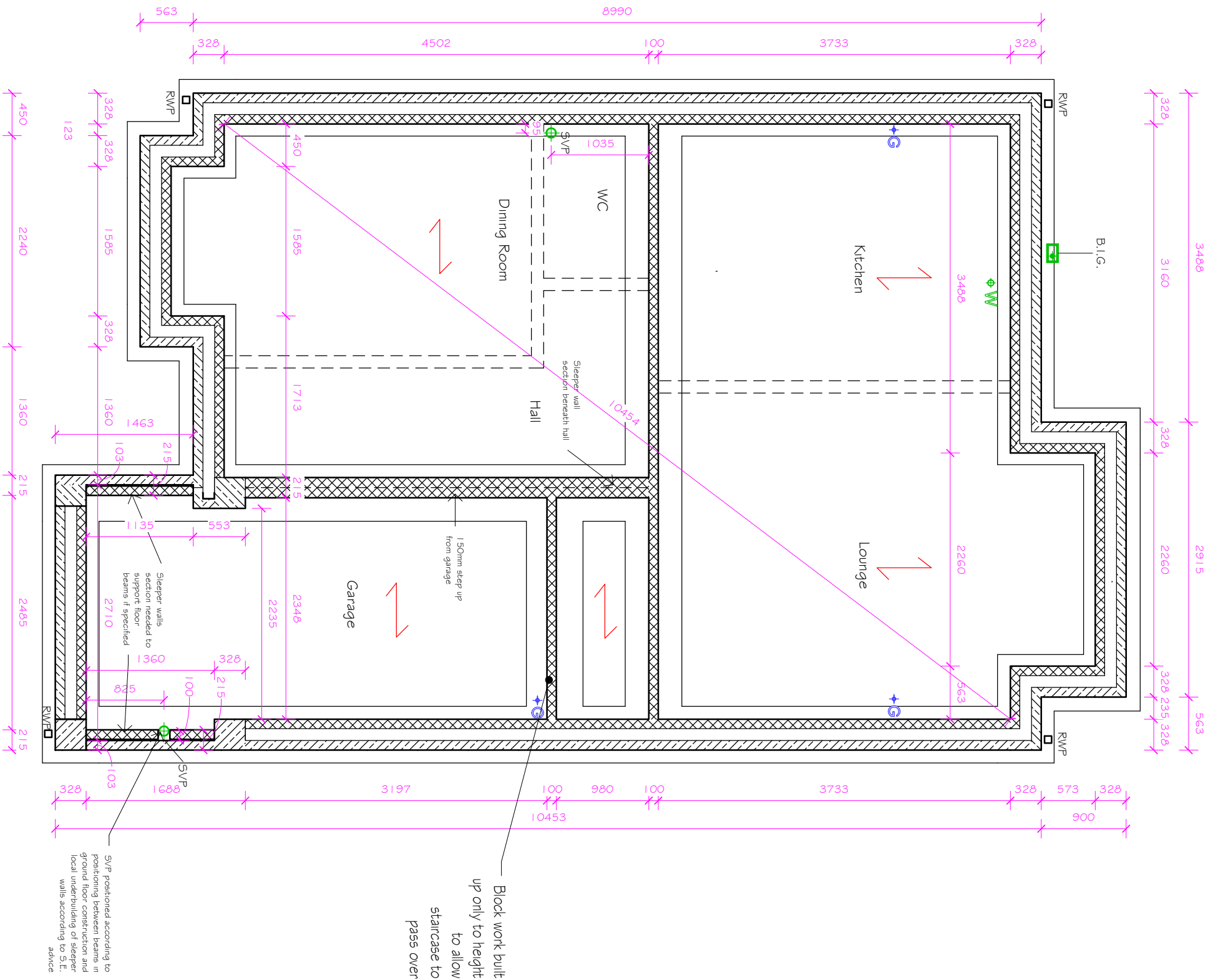
FOUNDATION LAYOUT

To be in accordance with recommendations given in site investigation report # Structural Engineers details.

Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks

Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks

Non-load bearing wall at ground floor level built off ground floor slab



TOP OF FOUNDATIONS PLAN
1 : 50

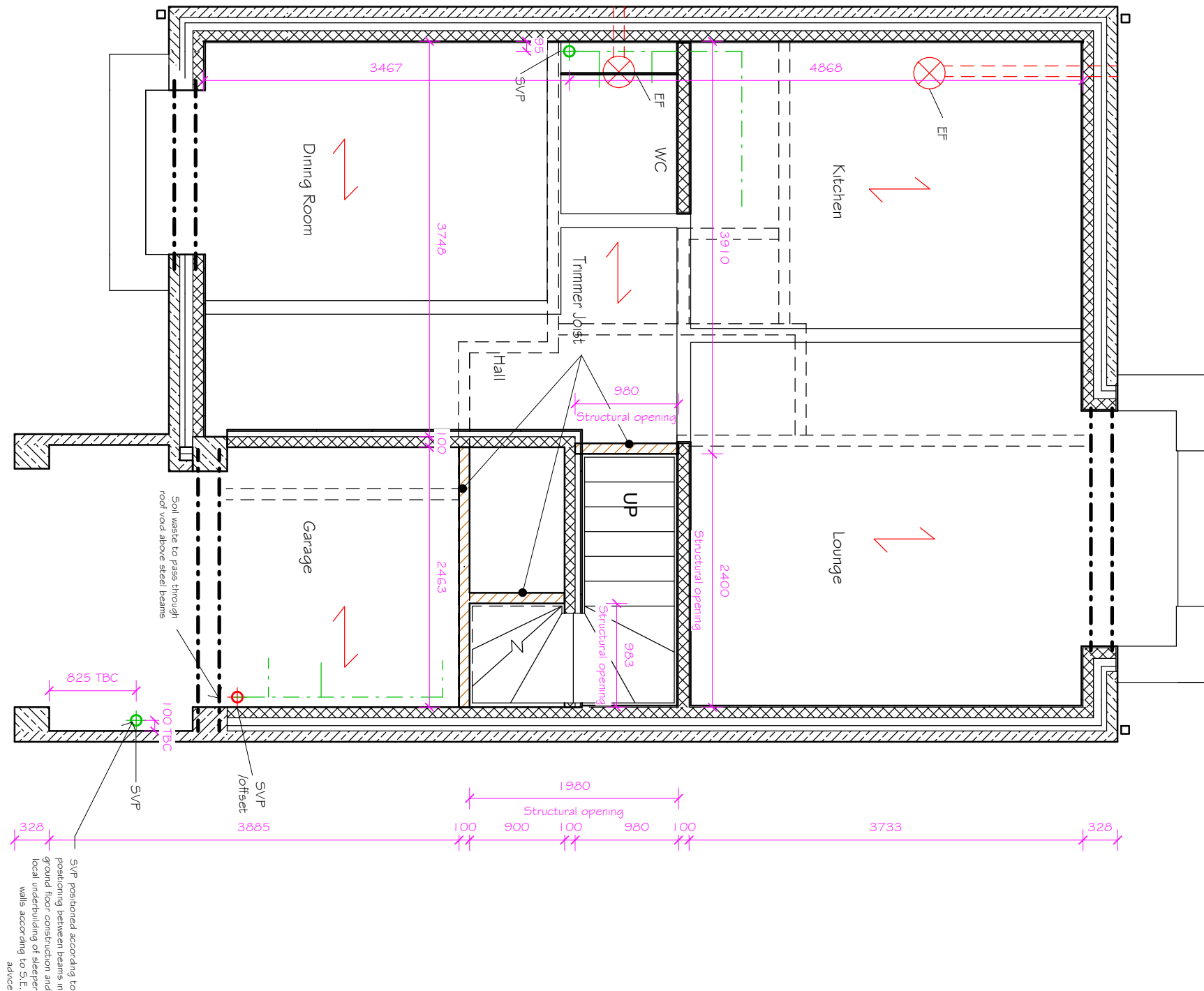
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	Denholme House Type Foundation Layout		Drawn	CS	Checked	RB
	Project Title		Scale	1 : 50	Size	A3
	Long Lane, Chapel-en-le-Frith		Revision	G	Drawing Number	
				25/04/17	1968-DEN-08	

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JOIST PLAN - GROUND FLOOR PLAN WITH FIRST FLOOR OVER
1 : 50



INDICATIVE JOIST LAYOUT

Refer to joist manufacturers detailed joist layout.
Joist design based on 220mm deep joists

30 x 5 x 1400mm long galv. M.S. straps once bent @ 100mm @ 2000mm max. centres with 38 x 150mm solid bridging under where joist spans exceeds 3000mm.

Stairwell:
Overall clear opening sizes are shown between face of blockwork and face of trimmers and do not include parge coat.
All dimensions to be checked against manufacturer's installation instructions and any discrepancies reported.

Horizontal flue system from boiler to run within floor void and terminate through external wall.
To be fitted in accordance with manufacturers installation details.
Joists to be trimmed out accordingly.

- Line of stud wall; nb: joists sizes increased or doubled-up under as per manufacturers design.
- Cavity masonry wall, see general specification.
- Block wall
- Non-load bearing walls at floor level above

75mm timber packers to be fixed back to trimmer providing support for top nser of staircase.

Cooker hood and bathroom extract fans to be taken within floor void and ducted through to external walls. Refer to indicative floor joist layout for direction.

Ensuite & Bathroom waste to run within floor void and connect into adjacent SVP. Joists to be trimmed out in accordance with manufacturers design.

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Client

Drawing Title
Denholme House Type
Joist Plan - Ground Floor with First Floor
Over
Project Title
Long Lane, Chapel-en-le-Frith

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-09
	25/04/17		

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SECTION NOTES

100 x 75mm Wallplates

38 x 100mm s.w. treated timber mono trusses to form front entrance lean to roof. Timber sizes & grade to be confirmed. Trusses to be hung off external wall & supported off timber purlins.

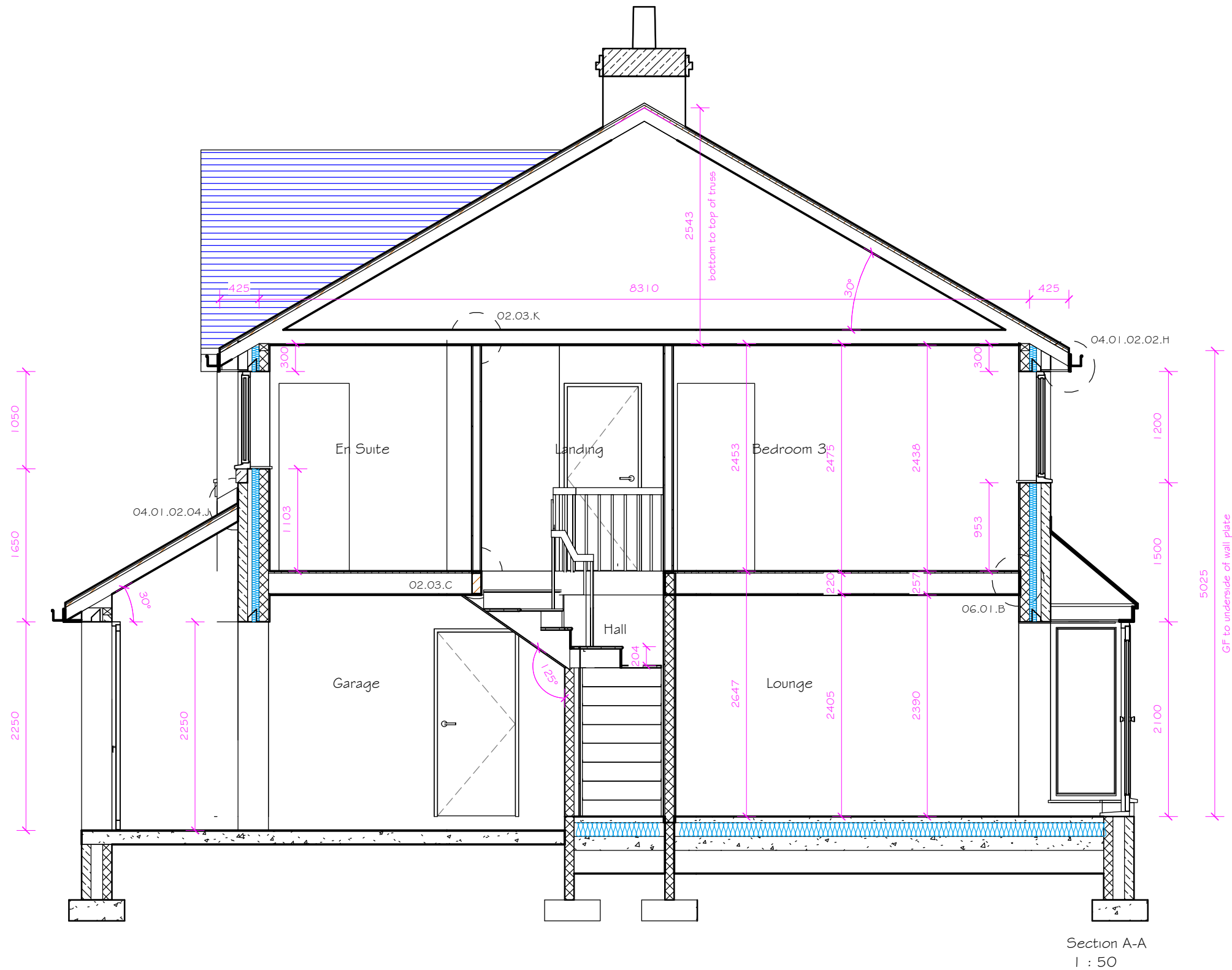
Sloping soffit to be provided between stairs & plaster finish following the line of the string & fixed to u/s of bottom rail.

GROUND FLOOR TO FIRST FLOOR STAIRCASE:
13 No. risers @ 204mm
12 No. treads @ 235mm
Max. pitch 42°.

Code 4 lead flashing or similar approved, cavity tray and DPC to all openings, reveals and abutments.

Level approach to entrance for part M

FOUNDATIONS AND GROUND FLOOR CONSTRUCTION ARE INDICATIVE ONLY AND SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DETAILS.



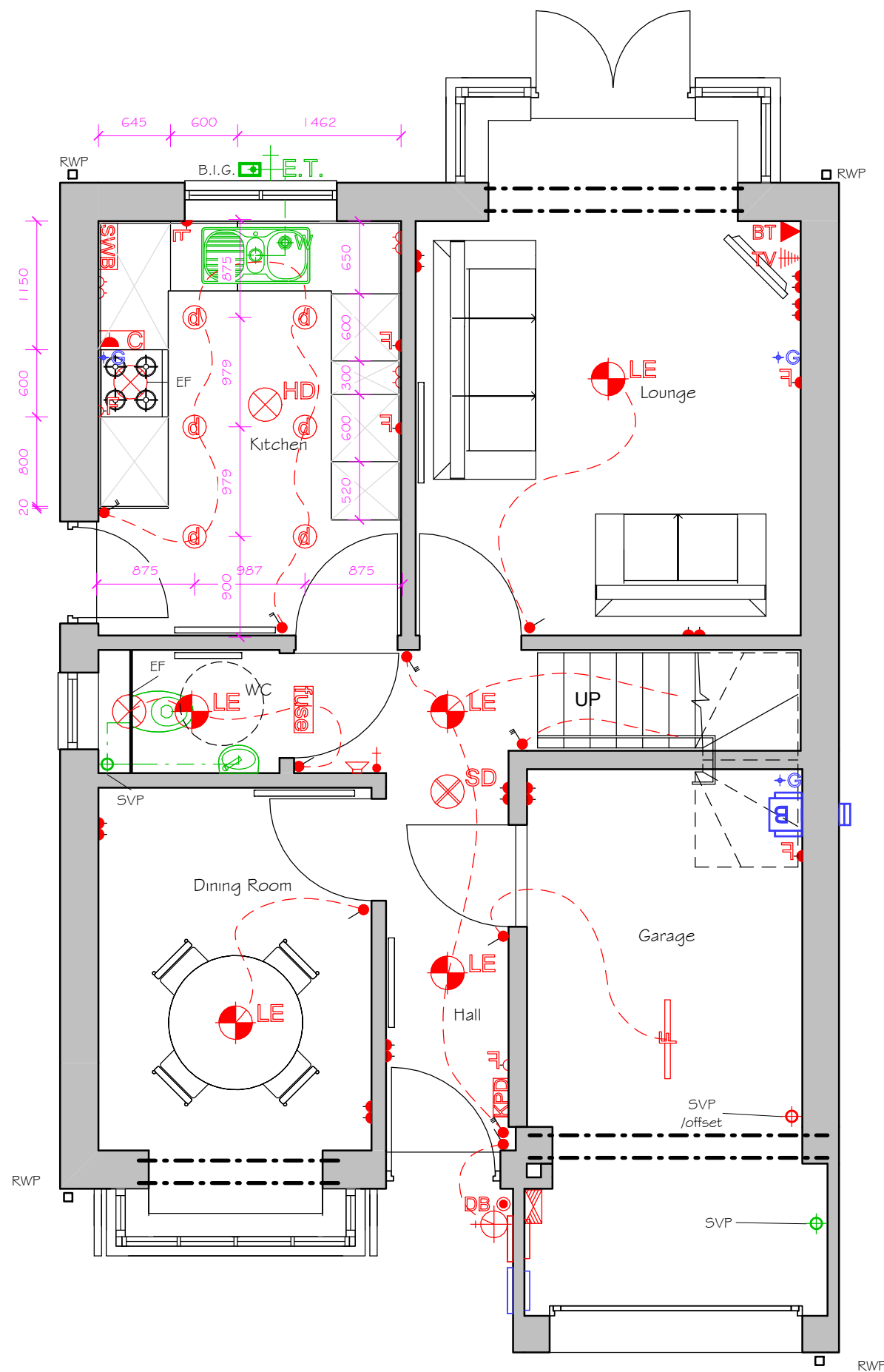
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		Long Lane, Chapel-en-le-Frith	Project Title		Drawn	CS	Checked
			Scale	1 : 50	Size	A3	
			Revision	G	Drawing Number		
				25/04/17	1968-DEN-11		

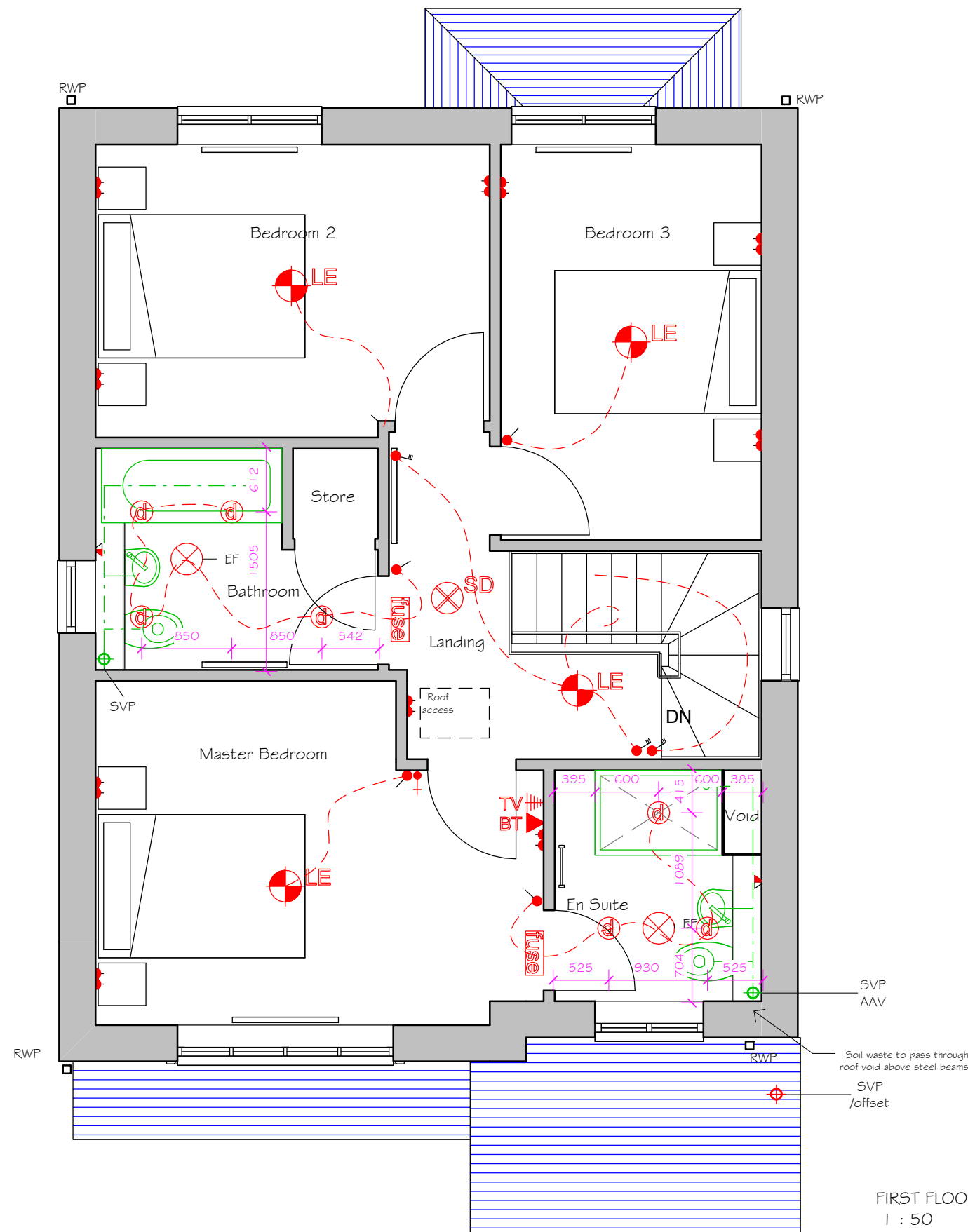
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FIRST FLOOR M & E LAYOUT
1 : 50

MECHANICAL & ELECTRICAL

EF	Ceiling Mounted Extraction Fan	TV	TV Output
SD	Smoke Detector	BT	BT Output
HD	Heat Detector	DB	Door Bell
	Pendant Light	+	Thermostat
LE	Low Energy Pendant Light		Consumer Unit
d	Downlight		Door Bell Sounder
F	Flourescent Light	KPD	Burglar Key Pad
	External Light (Low Energy and PIR)	+G	Gas Connection Point
E.T.	External Tap	RWP	Rainwater Pipe
	Light Switch	SFG	Sealed Floor Gully
	2 Way Light Switch	W	Water Entry Point
	3 Way Light Switch	VP	Vent Pipe
	Light Switch with Neon Indicator	SVP	Soil & Vent Pipe
	High Level Double Socket	SVP offset	SVP from floor above or below
	Low Level Double Socket	SS	Stub stack, 1m high
	Low Level Single Socket	SVP AAV	SVP with Air Admittance Valve
	High Level Single Socket		Back Inlet Gully
	Shaver Socket	B	Boiler
HF	High Level Fused Spur		Radiator
LF	Low Level Fused Spur		Heated Towel Rail
fuse	Isolated Fused Spur		
	Cooker Control		
SWB	Switch Bank		

All integrated white goods to be wired to switch bank. Refer to specification for further details.
Number of low energy light fittings to be confirmed by client. CCU to comply with ADM guidance and be mounted between 450mm from FFL and 1200mm high
ALL ELECTRICAL WORK TO MEET THE REQUIREMENTS OF PART P (ELECTRICAL SAFETY). ALL WORK MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY A PERSON QUALIFIED TO DO SO.
Boiler extract to be taken through to external grille. Ensure min. 300mm clear distance from any opening. Flues should be installed with the shortest length and as few joints as possible.

M&E Layout is indicative and should be read in conjunction with Seddon Homes Site Specification. Locations of all M&E are approximate and this plan should not be used to scale from.

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Registered in England No 305309

Client

Drawing Title
Denholme House Type
First Floor M & E Layout
Project Title
Long Lane, Chapel-en-le-Frith

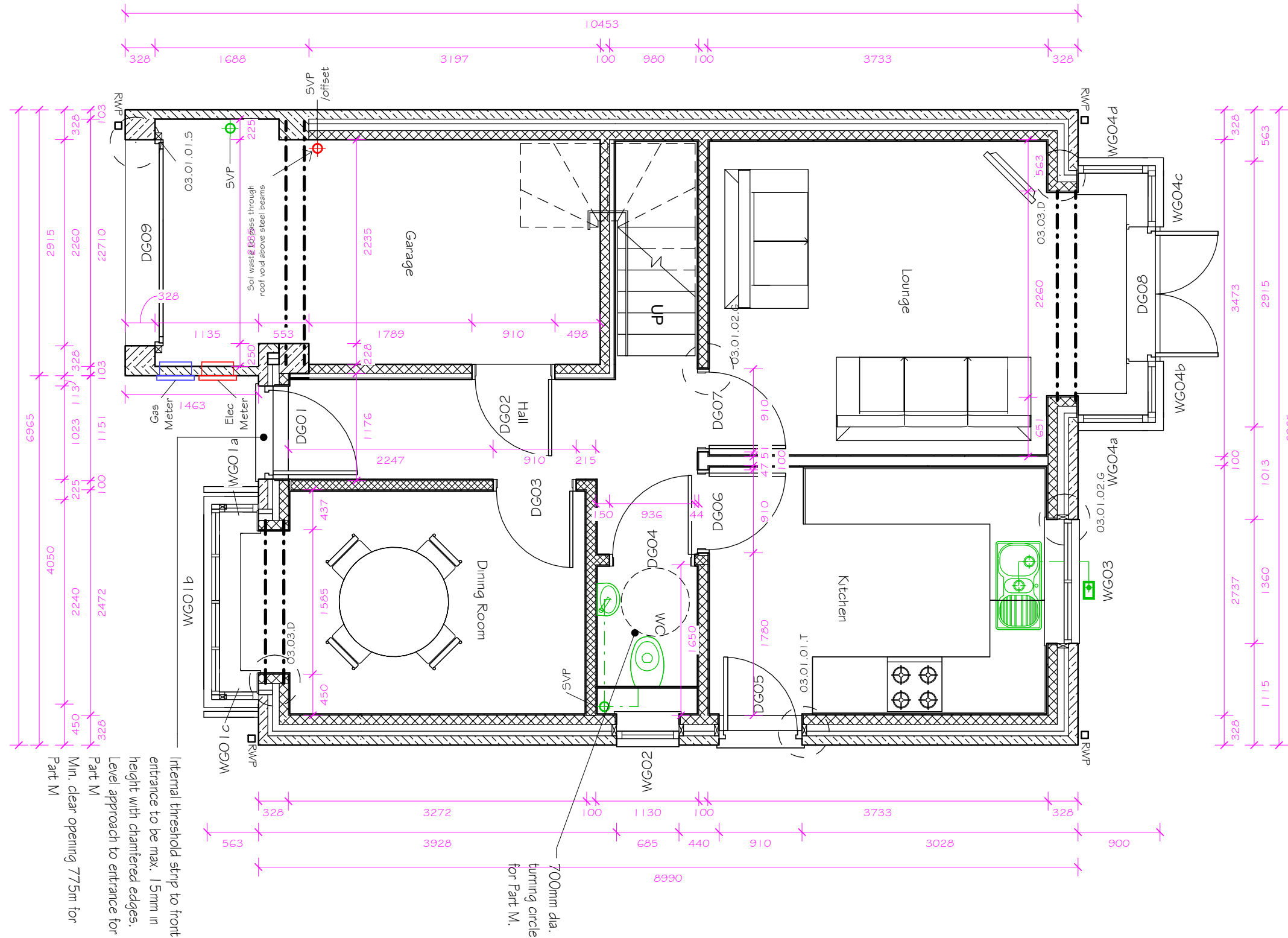
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Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-13
	25/04/17		

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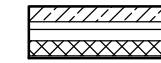
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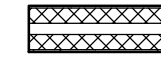
GROUND FLOOR PLAN - HANDED
1 : 50



CONSTRUCTION



EXTERNAL WALL CONSTRUCTION
100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear & 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.



PARTY WALL CONSTRUCTION
2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m²) plasterboard on dabs with skim finish on both sides.



INTERNAL LOADBEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.



NON LOAD-BEARING PARTITIONS



INTERNAL NON LOAD-BEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.



DORMA-WINDOW WALL CONSTRUCTION
Denotes indicative dormer wall construction. Refer to dorma manufacturers specification and details



INTERNAL WALL TO GARAGE
100mm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides.

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack
for further information

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Registered in England No 305309

Client

Drawing Title
Denholme House Type
Ground Floor Plan - Handed

Project Title
Long Lane, Chapel-en-le-Frith

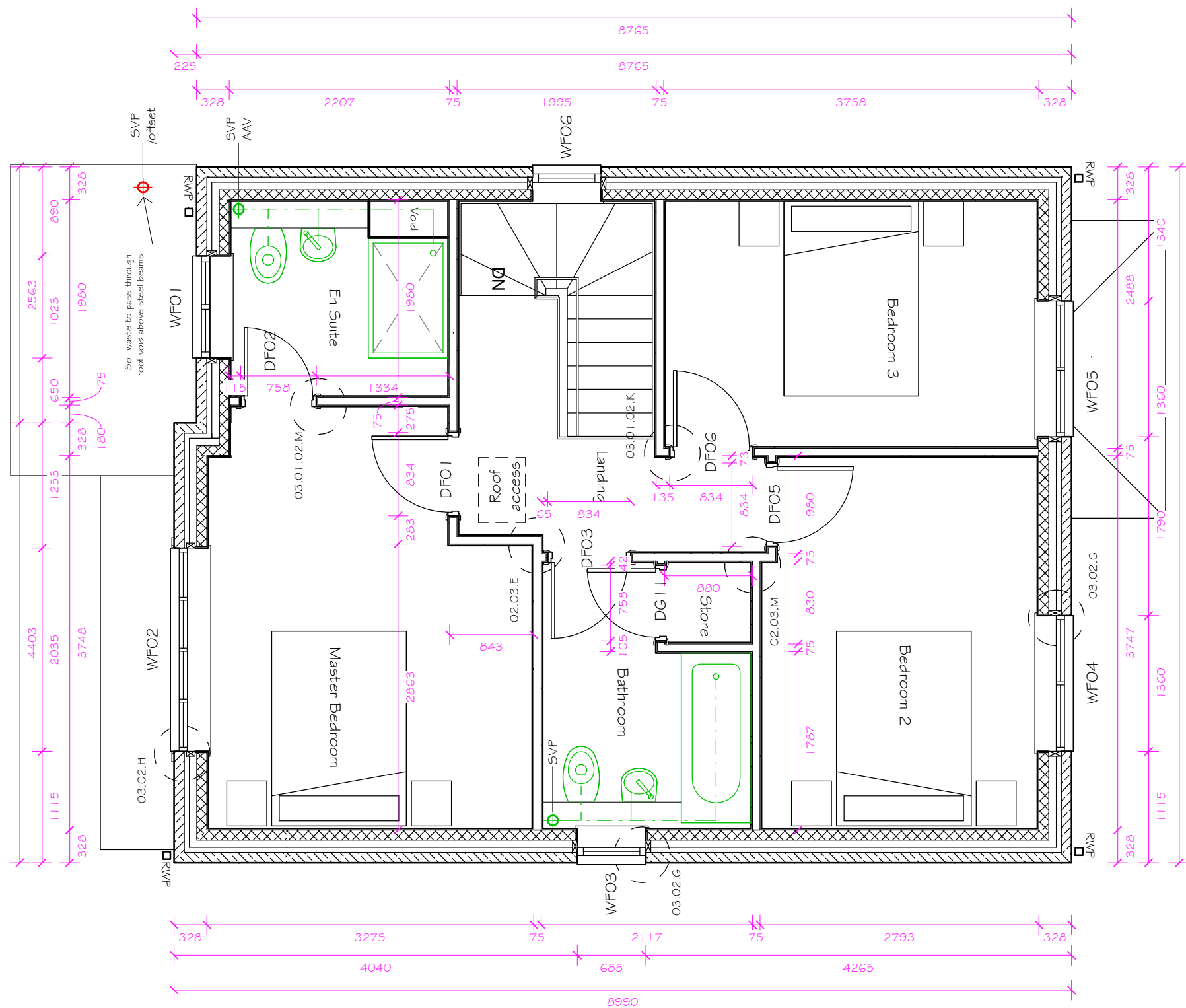
Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-14
	25/04/17		

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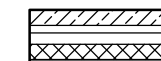
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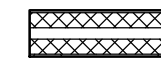
FIRST FLOOR PLAN
1 : 50



CONSTRUCTION



EXTERNAL WALL CONSTRUCTION
100/102.5mm Stone facing outer leaf. 125mm cavity 50mm clear & 75mm partial fill insulation. 100mm block inner leaf with 12.5mm plasterboard on dabs with skim finish.



PARTY WALL CONSTRUCTION
2 No. leaves 100mm to be in accordance with Robust Detail EWM17. Provided full fill cavity insulation with 12.5mm (nominal 9.8kg/m2) plasterboard on dabs with skim finish on both sides.



INTERNAL LOADBEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.



NON LOAD-BEARING PARTITIONS



INTERNAL NON LOAD-BEARING BLOCK
100mm block with 12.5mm plasterboard on dabs with skim finish to both sides.



DORMA-WINDOW WALL CONSTRUCTION
Denotes indicative dorma wall construction. Refer to dorma manufacturers specification and details



INTERNAL WALL TO GARAGE
100mm block leaf to garage face with a nominal 65mm insulated plasterboard to the habitable room sides.

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack for further information

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Client

Drawing Title
Denholme House Type
First Floor Plan - Handed

Project Title
Long Lane, Chapel-en-le-Frith

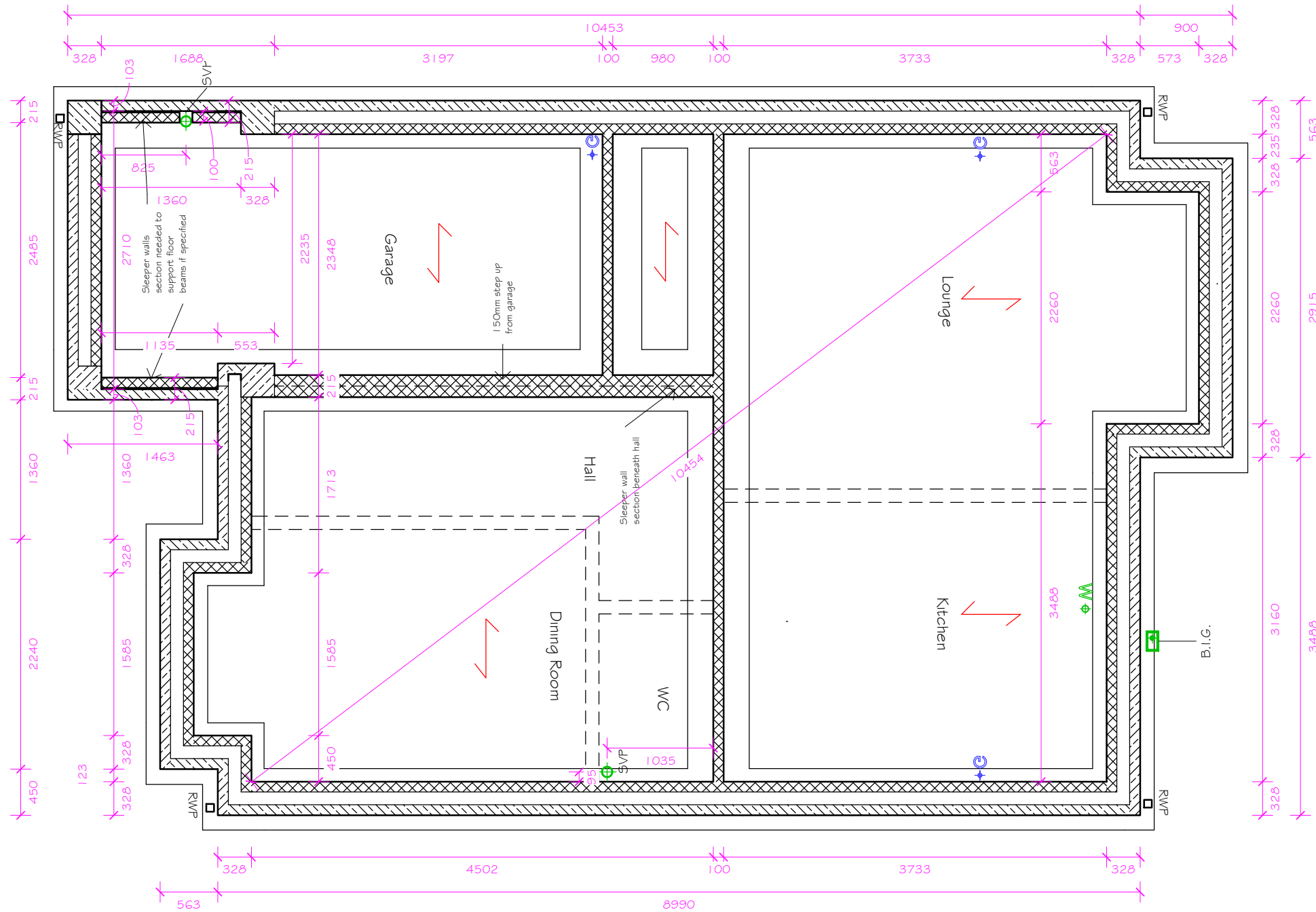
Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-15
	25/04/17		

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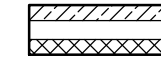
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TOP OF FOUNDATIONS PLAN - HANDED
1 : 50

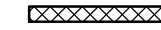


FOUNDATION LAYOUT

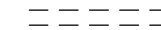
To be in accordance with recommendations given in site investigation report & Structural Engineers details.



Cavity masonry wall, stone facing outer leaf below DPC. Blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks



Load bearing block wall, blockwork at ground floor level from foundations to DPC to be constructed in 7N/mm blocks



Non-load bearing wall at ground floor level built off ground floor slab

Proprietary cavity fire socks to be provided where necessary



Standard Detail Reference
Refer to Standard Detail Pack
for further information

03.02.M

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Client

Drawing Title
Denholme House Type
Foundation Layout - Handed

Project Title
Long Lane, Chapel-en-le-Frith

Date	08/06/15	Status	Construction
Drawn	CS	Checked	RB
Scale	1 : 50	Size	A3
Revision	G	Drawing Number	1968-DEN-16
	25/04/17		

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DOOR SPECIFICATION




General - The provision of Fire Safety shall be in accordance with AD Part B, Resistance to the Passage of Sound with Part E and Access & Facilities for the Disabled with Part M of the Building Regulations.

External Doors - 44mm external doors to be steel faced, insulated & weather-sealed, having a min. 775mm clear opening & accessible threshold. Frame to be softwood with composite cill, including an adjustable Part M compliant threshold strip.

Internal Doors - (REFER TO SPECIFICATION FOR STYLE) Internal doors to habitable rooms (as defined by AD Part M) on the entrance or principle storey shall have min. clear opening width of 775mm. Corridors shall have a min. clear width of 900mm when approached head on or 1050mm clear width when not approached head on. W.C. compartments shall be provided on the entrance or principle storey and have outward opening doors.

Internal Fire Doors - Three storey housing shall have a protected stairway offering 30min. fire resistance. All doors opening onto the stairway shall be self closing, min. FD20 fire doors. Interconnecting doors between a dwelling and garage shall be self closing FD30 fire doors.

GLAZING

-  Toughened safety glass
-  Obscured glass
-  Obscured toughend safety glass
- WGO 1

Window reference (refer to plan & elevations).
N.B. WG, WF, WS, etc refer to floor level.

DOOR SCHEDULE

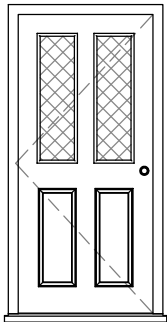
Door Number	Floor Level	Door Style	Door Panel Width	Door Panel Height	S.O. Width	S.O. Height	Fire Rating	Comments
-------------	-------------	------------	------------------	-------------------	------------	-------------	-------------	----------

DGO 1	GF	External Style A	926	2056	1023	2100		Obscured and toughened glazing
DGO2	GF	Internal Single	838	1981	910	2025	FD30S	Internal door to garage. With self closer.
DGO3	GF	Internal Single	838	1981	910	2025	FD20	
DGO4	GF	Internal Single	864	1981	936	2025	FD20	
DGO5	GF	External Style B	807	2013	910	2100		Obscured and toughened glazing
DGO6	GF	Internal Single	838	1981	910	2025	FD20	
DGO7	GF	Internal Single	838	1981	910	2025	FD20	
DGO8	GF	External Style D	686	1993	1473	2100		Double Doors. Toughened glazing. Part of square bay window set with side windows (see window schedule)
DGO9	GF	Garage Door V			2260	2250		Main garage door

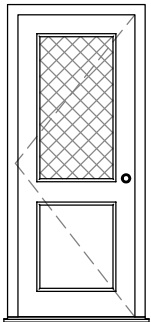
DFO 1	FST	Internal Single	762	1981	834	2025	FD20	
DFO2	FST	Internal Single	686	1981	758	2025		
DFO3	FST	Internal Single	762	1981	834	2025	FD20	
DFO5	FST	Internal Single	762	1981	834	2025	FD20	
DFO6	FST	Internal Single	762	1981	834	2025	FD20	
DG 1 1	FST	Internal Single	686	1981	758	2025		

DOOR STYLES
1 : 50

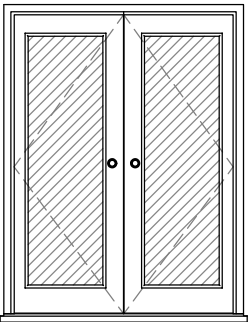
External Style A



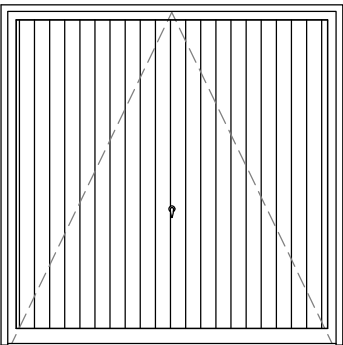
External Style B



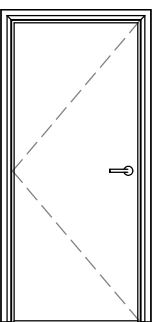
External Style D



Garage Door V



Internal Single



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Registered in England No 305309

Client

Denholme House Type
Door Schedule

Long Lane, Chapel-en-le-Frith

Drawing Title

Date 08/06/15

Status

Construction

Drawn CS

Checked RB

Scale 1 : 50

Size A3

Revision

G 25/04/17

Drawing Number

1968-DEN-DS

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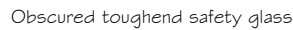
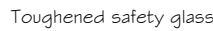
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Provide standard double glazed (BS5713) draught sealed timber / PVCu windows. Windows shall provide rapid ventilation in habitable rooms to at least 1/20th floor area, part of which being 1750mm above floor. Trickle ventilation to be provided in accordance with manufacturer's guidelines with openable vent areas of 8,000mm² & 4,000mm² to habitable rooms & non-habitable rooms respectively.

Egress windows to be provided in accordance with AD Part B. Such windows shall have a minimum unobstructed opening area of 0.33m², provided by an opening of at least 450mm high & 450mm wide, with the lowest part of the opening located no higher than 1100mm above floor level. Egress hinges to have retractors with emergency override.

Obscure glass shall be 'Cotswold' pattern and be provided in windows to Bathrooms, W.C.'s & En suites, together with front entrance doors and side screens where non-decorative obscured glazing is specified. The Cotswold glass will form the inner pane of the sealed double glazed unit.

GLAZING



WGO I

WINDOW STYLES
I : 50

Window Style 4.8

