

Dinting Vale Industrial Estate,
Glossop

Heritage Statement & Impact
Assessment

November 2017





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HERITAGE STATEMENT

1. Introduction

- 1.1 Townscape has been commissioned by the owners of Dinting Vale Industrial estate to produce this Heritage Statement of significance and Heritage Impact Assessment to support a planning application for their consideration Townscape are Chartered Town Planning and Heritage Consultants who serve public, private and community sector clients. We specialise in all aspects of our historic environment, heritage, planning and wider urban design.

2. Historic Description and Context.

- 2.1 Originally the Dinting Vale print works was built intended for spinning and carding cotton but was never used. It stood empty on the roadside for many years. In 1825 Edmund Potter bought the site and established the print works at Dinting Vale and eventually the business became the largest Calico print works in the world. In 1899 the business further expanded becoming part of the Calico Printers' association.
- 2.2 Edmund Potter was not only a wealthy industrialist but also due to his philanthropic and religious beliefs, built and paid for a reading room and library in 1885, so that his employees could further their education. In addition, Edmund Potter acquired Logwood Mill a short distance from the print works and whilst using the ground floor for the production of black dye, the upper floor was used as day school for the younger workers at the print works. Both buildings are now demolished.
- 2.3 Edmund Potter is perhaps better known for being the grandfather to the author Beatrix Potter.



Fig 1 Reading Room



Fig 2 Longwood Mill

3. Analysis of existing building

- 3.1 A single building exists on the proposed development site together with remnants of former buildings. Fronting Glossop Road is the truncated remains (outer wall) of a former workshop/shed. Former window openings are clearly visible and the former elevation reduced to approx. 1-1.5m. In addition, the outer walls of a former connected workshop are attached to the existing building and its gable wall appears to be set forward from the existing standing building. Historic Photographic evidence suggests the relationship between the existing building and other buildings of two large stone built workshops/sheds with the existing workshop set back from the outer gables of the two larger structures now demolished.
- 3.2 The existing building is single storey under a regular slate pitch roof. Walls and elevations are in part (front and side elevations, partially) stone built in Pennine gritstone arranged in regular square coursing. The rear elevation is completely rebuilt in modern blockwork. Externally the building is plain with the exception of a circular mullioned vent to front facing gable with small pinnacle feature to roof apex and curved corner with chamfer to south west elevation. A number of window and door openings exist.
- 3.3 In addition to the existing workshop, partial wall with openings of former adjacent workshop exists, bearing off the south east elevation of existing workshop. Other structures on the site are of a temporary or non structural nature. Internally all structures are architecturally and historically plain and no original features of interest or merit remain.



Fig 3 Truncated Road side (Glossop Rd) elevation to former industrial work shop



Fig 4 Truncated outer wall looking North east



Fig 5 South East Gable of existing stone workshop



Fig 6 North west gable to stone workshop



Fig 7 South west Elevation



Fig 8 North west Gable



Fig 9 North east Gable



Fig 10 Internal looking North west



Fig 11 Internal South East

4.0 Map regression

- 4.1 No tithe maps or enclosure maps are available for the area of the development site. The earliest available map is the Ordnance Survey 1st edition 1880, 2nd edition OS 1898 and 3rd edition OS 1921.

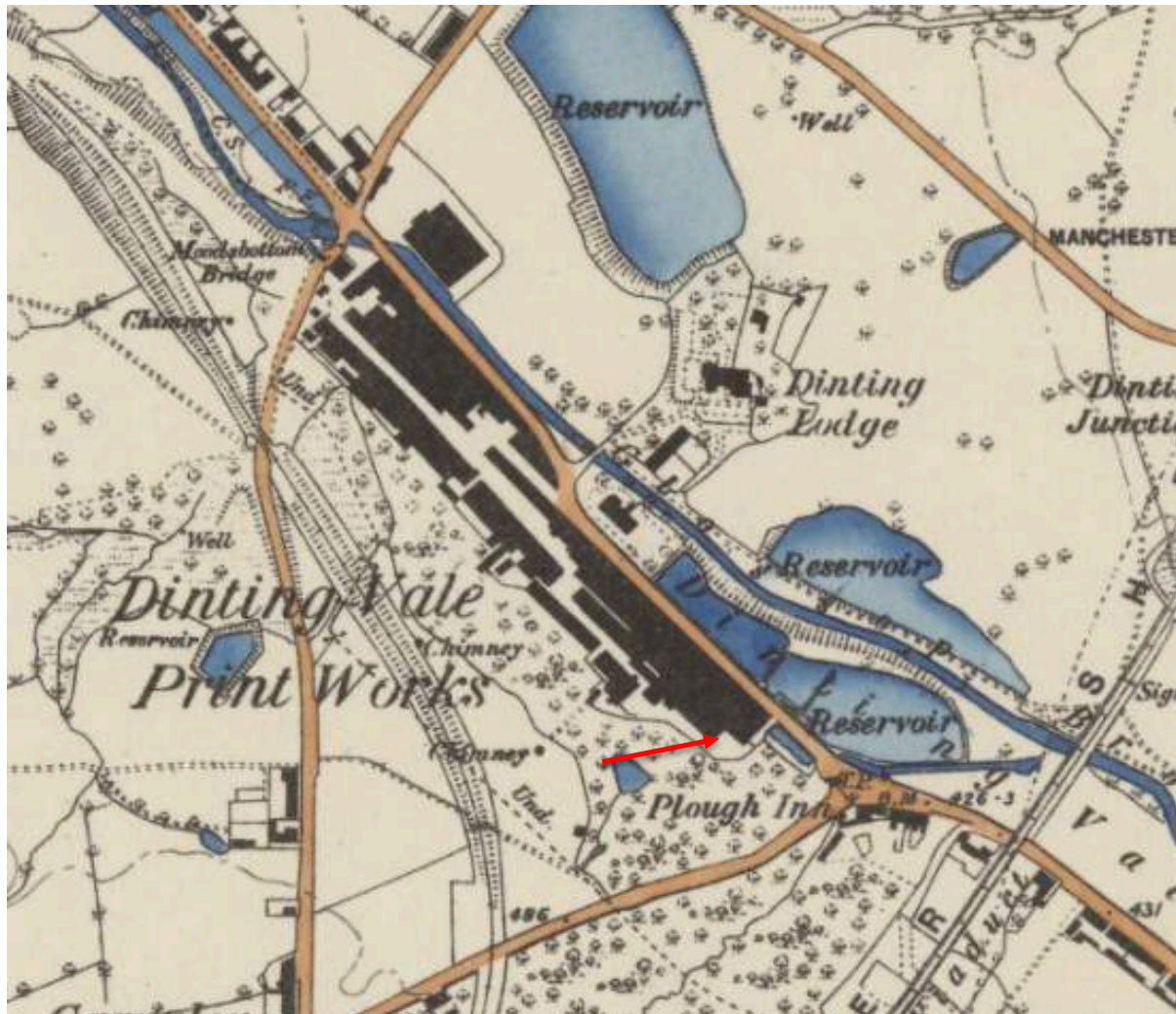


Fig 12 OS map extract 1880



Fig 13 OS Map extract 1896



Fig 14 OS map extract 1919



Fig 15 Postcard dated 1865

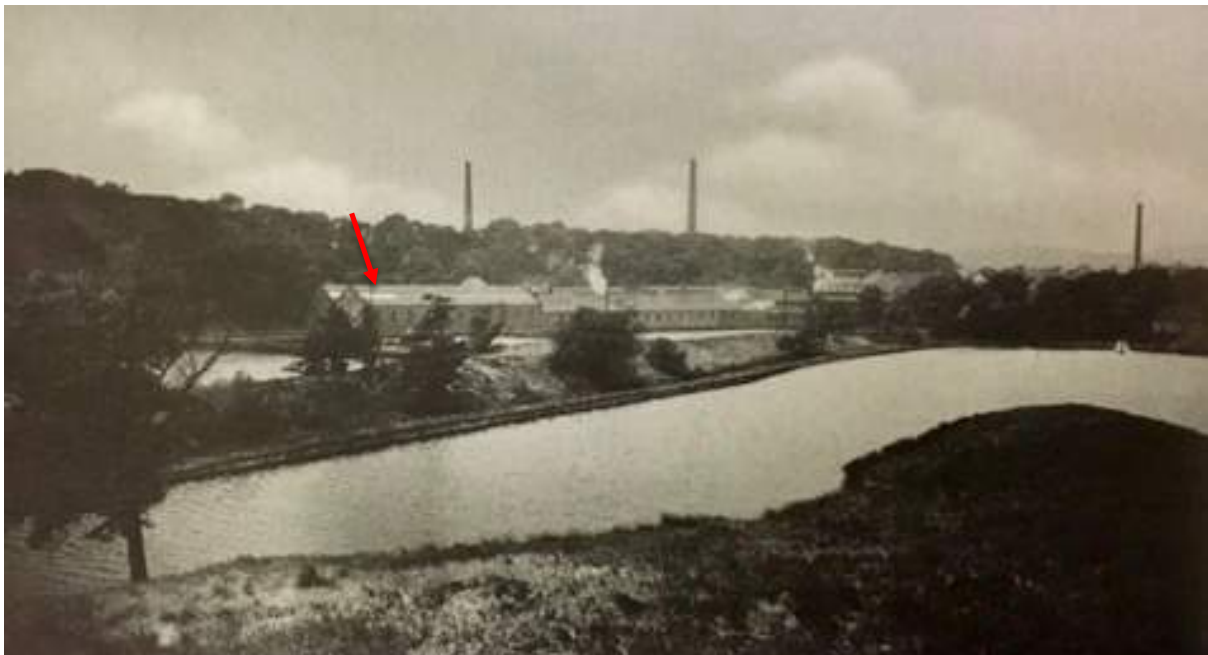


Fig 16 Undated image

4.2 Photographic discussion

Images of the Dinting Vale print works are catalogued one image dated 1865 (postcard) and additional image undated. However, discrepancies are discovered in determining the actual buildings of the proposed development site. Fig 15 clearly shows three gabled buildings, one of which (marked) is considered to be existing on the site. Map regression and analysis of the existing building clearly identifies the

existing building set back behind the two former workshops. The post card image has certainly been subject to artist's interpretation.

5.0 Statement of Significance and Heritage Planning Policy Context

- 5.1 Section 12 of the NPPF, entitled 'Conserving and enhancing the historic environment' provides guidance for planning authorities, property owners, developers and others on the conservation and investigation of heritage assets. Overall, the objectives of Section 12 of the NPPF can be summarised as seeking the:

Delivery of sustainable development;

Understanding the wider social, cultural, economic and environmental benefits brought by the conservation of the historic environment; Conservation of England's heritage assets in a manner appropriate to their significance; and Recognition of the value that heritage makes to our knowledge and understanding of the past.

- 5.2 Section 12 of the NPPF recognises that intelligently managed change may sometimes be necessary if heritage assets are to be maintained for the long term. Paragraph 128 states that planning decisions should be based on the significance of the heritage asset, and that level of detail supplied by an applicant should be proportionate to the importance of the asset and should be no more than sufficient to review the potential effect of the proposal upon the significance of that asset.

Heritage assets are defined in Annex 2 of the NPPF as:

A building, monument, site, place, area or landscape positively identified as having a degree of significance meriting consideration in planning decisions.

They include designated heritage assets (as defined in the NPPF) and assets identified by the Local Planning Authority.

Annex 2 also defines archaeological interest as:

A heritage asset which holds or potentially could hold, evidence of past human activity worthy of expert investigation at some point. Heritage assets with archaeological interest are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them.

A designated heritage asset comprises a:

World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or Conservation Area.

Significance is defined as:

The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.

- 5.3 There are no designated heritage assets (Scheduled Monuments, Conservation Areas, Listed Buildings, Registered Parks and Gardens or Registered Battlefields) within the study boundary and a desk top archaeological study is not required due to the limited amount of historic interest. The lack of evidential interest has been confirmed in previous archaeological desk top studies accompanying the following planning applications.
HPK/2009/0496 for Dinting Vale Lodge
- 5.4 There are no prehistoric, Romano British or medieval recorded sites within the immediate vicinity of the development site. Post Medieval records and entries are relevant. In addition to Dinting Vale print works which is contained within the Derbyshire HER under SMR number 6143-MDR687. Several other sites are recorded on the SMR. Dinting Vale Tollhouse SMR 6120-MDR673 lies south of the site at the junction of the A57 and A626, a further Tollhouse SMR Number 6121-MDR674, a stone barn SMR 6130-MDR680 stands on the west side of Higher Dinting Road. Dinting railway Viaduct SMR 6117-MDR670
- 5.5 Understanding significance is a key principle for managing change to heritage assets, and is embedded within current government policy in the NPPF (National Planning Policy Framework, 2012). A key objective in the NPPF is 'the desirability of sustaining and enhancing the significance of heritage assets' (NPPF para.126).
- 5.6 The NPPF advises that the more significant the heritage asset the greater weight should be given its conservation (policy 132). English Heritage issued Conservation Principles in 2008 to explain the importance of understanding what is significant before making changes to a historic building. English Heritage set out four main aspects of significance: evidential (or archaeological), historical, aesthetic and communal. Measuring significance is not an exact science; it relies on a combination of comparative analysis, an understanding of the building's development and architectural history and the setting. Assessments depend on using judgment in relation to the quality of the original design and fabric and the level of alteration. There are four main categories of significance that can be measured:

Exceptional – an asset important at the highest national or international levels, including scheduled ancient monuments, Grade I and II* Listed buildings and World Heritage Sites. The NPPF advises that substantial harm should be wholly exceptional.

High – a designated asset important at a national level, including Grade II listed buildings and locally designated conservation areas. The NPPF advises that substantial harm should be exceptional.

Medium – an undesignated asset important at local to regional level, including buildings on a Local List (non-statutory) or those that make a positive contribution to a conservation area. May also include less significant parts of listed buildings. Buildings and parts of structures in this category should be retained where possible, although there is usually scope for adaptation.

Low – structure or feature of very limited heritage value and not defined as a heritage asset. Includes buildings that do not contribute positively to a conservation area and also later additions to listed buildings of much less value.

Negative – structure or feature that harms the value of heritage asset. Wherever practicable, removal of negative features should be considered, taking account of setting and opportunities for enhancement.

5.7 Significance of Dinting Vale print works (development site).

The existing site and building is assessed according to in force planning and heritage policy and legislation and considered to be of low significance, and for the most part architecturally plain and its historic interest is it once formed part of the wider print works site. The site is not a heritage asset nor of any archaeological interest. However, sub ground remains of former industrial buildings may exist, and an active archaeological watching brief during construction phase is recommended.

Heritage Impact Assessment

Heritage Impact Assessment

1. Scope and method of assessment.

- 1.1 This impact assessment relies on the understanding of the structure identified that is the existing structures on land at Dinting Vale Industrial estate. The site contains no heritage assets. A brief understanding of the sites history and its significance has been discussed in the heritage statement.
- 1.2 This impact assessment is a judgment on the proposal to redevelop the site and to discuss the impact of the proposed new buildings upon any significance of the site. To provide a professional judgment on its acceptability and the impact of any yet unfound building archaeological remains.
- 1.3 In assessing the impact of a proposal which entails the impact on a heritage asset, this assessment draws on a number of key guiding documents where applicable, such as English Heritage Conservation Principles, 2008 and Historic England Guidance, Historic Environment good practice advice in planning Note 3, The Setting of Heritage Assets, March 2015 where required.
- 1.4 I have also considered the impact of the proposal upon the heritage asset by relating directly to the National Planning Policy Framework (NPPF) and High Peak Council Planning Policies.
- 1.5 This report provides an appropriate level of significance assessment for this case, when ‘considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal’ (paragraph 129). The NPPF advises that when considering the impact of a proposal ‘great weight should be given to the asset’s conservation. The more important the asset the greater the weight should be’ (paragraph 132). More weight is therefore given to assets of national importance such as listed buildings, than to local heritage, and more weight should be given to features and elements of high significance than those of lower importance.
- 1.6 Proposals may enhance, have a neutral impact or cause harm to a heritage asset. The level of harm may be slight, ‘less than substantial harm’ or substantial. The NPPF states that substantial harm to listed buildings (such as demolition or loss) should be exceptional, and it has to be very robustly justified (paragraph 133). Where ‘less than substantial’ harm is likely to be caused, the harm has to be balanced against the public benefits (paragraph 134). This level of harm can include removal or covering over of features

2. Description of Proposed Development, assessment of proposed options and their Impact on the heritage assets.

- 2.1 The development proposal is to retain the main stone workshop structure and the truncated remnants of former workshop wall fronting Glossop Road. New development will consist of major enhancements to the site with new proposed workshop with attached showroom and car parking with landscaping. An additional 6950 sq ft building to the north west of the site. The proposed development will provide for new workshops and showrooms constructed in high quality materials and at single storey. Environmental improvements will result in easier and enhanced car parking access/exit. On site turning area together with disabled parking and landscaping to the edges of the site.

3.0 Assessment of proposed development against Heritage Planning Policy Criteria; Nationally and Locally

- 3.2 Nationally and in accordance with the principles in paragraph 132 of the NPPF, development which may impact upon heritage assets might be classified as either 'substantial' or 'less than substantial' harm. Although no definition is provided as to what constitutes 'substantial' in such circumstances, the Planning Practice Guidance: 'Conserving and Enhancing the Historic Environment' states that "in general terms substantial harm is a high test so it may not arise in many cases".
- 3.2 Paragraph 134 of the NPPF states that "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum use".

The proposal as submitted will have no impact nor result in any harm

4. Local Planning Policy

- 4.1 High Peak Council, Local Plan (2016) policies for the Built and Historic Environment Chapter 5 and in particular relevant policy EQ7 outlines planning policy considerations for the determination of planning applications involving the Built and Historic Environment.
- 4.2 This heritage appraisal is written to fully understand the heritage assets that are in question and to provide an independent opinion on the proposal to develop the site and to determine the likelihood of surviving sub ground structures.

5. Conclusions

- 5.1 This report has considered the significance of the development site and to determine what, if any heritage implications may arise from the proposal to retain existing identified structures and new workshops and show room.
- 5.2 The works proposed are informed, with a thorough understanding and regard for the site, its context and any significance. The significance of the site and its standing remains are considered to be of low significance. In addition, any sub soil industrial structures or foundations remains from previous workshops will have low significance.
- 5.3 Government policy, as set out in the National Planning Policy Framework, requires that proposed changes to the historic environment are based on a clear understanding of the significance of any heritage asset and its setting, providing information so that the likely impact of proposals can be assessed.
- 5.4 The heritage assessment provided in this report is carried out in accordance with the historic environment policies in the NPPF and local planning policy and is intended to aid the assessment of any resulting planning application. I have briefly outlined the historical development of the site, its character, setting and significance and I have outlined the scope of the proposed works.
- 5.5 The crucial test contained within the NPPF is whether the harm to a heritage asset is outweighed by the public interest and benefits of a proposal. Given the limited historical interest in the site, there are now strong positive social and economic reasons to support the proposal.
- 5.6 My conclusions have found that the proposed development of the site will result in **no impact**. I believe the proposals strike a balance between the limited architectural, archaeological and historic interest of the buildings. The development area and that the proposals as set out will **not present any detrimental impact or harm**.
- 5.7 Whilst underlying building foundations may exist from former buildings and of post medieval date, their significance will most likely be of negligible architectural, archaeological or historic interest. A condition attached to any planning consent should provide for a watching brief to be undertaken during construction works.

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Director

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