

# Design and Access Statement

*December 2016*

*Proposed Extensions and Alterations at Ridge Top Farm, Ridge top Lane, Hayfield, High Peak SK22 2JT*



Aerial view showing location

- **Applicant**  
*Mr Mike Prady*
- **Planning Authority**  
*High Peak Borough Council*
- **Proposal**  
*Extensions and Alterations*
- **Location**  
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## 1.00 General

This application is for alterations to Ridge Top Farm farmhouse, which is located off Ridge Top Lane, on the southwest outskirts of the local plan settlement of Hayfield.

The building falls outside the conservation area (2011) and is not listed. It lies within Green belt within 500m of the boundary of the PDNP.

The existing house has been subject to neglect and extensive insensitive alterations by previous owners over recent years. The current owners, the applicants, have recently purchased the property and are keen to bring the building back to a good state of repair which will reflect its location and potential.

The property lies at the junction of two well established Public Footpaths:

- From the north a path which leaves New Mills Road and runs between Hayfield Quarry and the cemetery before passing through Ridge Top Farm yard on its way to the TV mast on Ollersett Moor.
- From the east a path which contours across fields from Phoeside to join Ridge Top Lane for a short distance before striking off close to the south elevation of the building to join Moorlands Road.

The building is magnificently sited on high ground to the south west of the village of Hayfield with open views on all sides. To the east is Kinder Scout; to the west is Ollersett Moor, to the south Chinley Churn and to the north Lantern Pike and The Knott.

The building is constructed in random coursed local grit stone with large rough dressed quoins. Some windows and external doors have original stone lintels, surrounds and cills although unfortunately in most cases stone mullions and other features have been removed.

The large gable wall facing south west has been rendered with sand/cement presumably in an effort to combat water ingress on this area exposed to the prevailing wind.

The building has pitched roofs which have been covered with artificial stone tiles. Most chimney stacks have been removed.

Timber window frames in a variety of patterns and finishes have been installed over the life of the building, many of them, it would appear, in the past 20-30 years.

Figures 1 – 4 show photographs of the existing elevations:



**Figure 1: North Elevation**



**Figure 2: East Elevation**



**Figure 3: South Elevation**



**Figure 4: West Elevation**

## 2.00 The Proposal

The core aspiration is to carry out necessary works to return the building to a good state of repair and finish which will be consistent with its location and potential.

The original building was probably built in the latter part of the eighteenth century and has been demolished, altered and extended over its life, sadly not generally in ways that are appropriate in the local vernacular context.

There appears to be no evidence of the buildings at Ridge Top Farm on early historic maps referred to in the Hayfield Conservation Area Appraisal although Ridge Top Lane is identified on the C17 and C18 maps of the area.

The buildings appear on the 1849 Tithe Map of Hayfield.

It appears that the original shell of the building is a dual pitched roofed rectangle of approximately 6m x10m (eaves height approx. 4m) running across the contours of the site from south to north with a porch at the south corner.

To this has been added a roughly rectangular extension on the northern end with a slightly lower eaves line (by 600mm). This extension has been roofed with a rather awkward dual pitched roof with a hipped end on the northern corner.

In general the chimney stacks at roof level have been removed - presumably in an effort to reduce maintenance.

The roof as a whole is covered with artificial stone tiles.

In overall terms the roof treatment and lack of chimney stacks gives the building an unfinished rather bleak aspect.

In its current state the house has the following shortcomings:

1. Circulation pattern and vertical circulation are unsatisfactory and incoherent. The staircase is unworkable and dangerous as well as squandering valuable usable space. The arrangement and amount of living space within the house does not lend itself to modern patterns of living.
2. Main entrance to house is unclear and inconvenient.
3. Headroom, particularly in bedrooms is unsatisfactory.
4. Sanitary provision is unsatisfactory. There is only one bathroom, on the ground floor, remote from bedrooms. Utility provision is unsatisfactory for a family dwelling.
5. External appearance – years of neglect and insensitive interventions (openings, roof form, materials etc.) gives the house a general air of being unloved and shoddy.

6. The views out from and into the site need to be carefully considered to optimise the unique quality of the site location.



### 3.00 Design

The proposal is to create a house which demonstrates its cared for character, is a positive contribution to the area and which is appropriate for 21st century living.

In so doing the design needs to respect the planning policies of the local planning authority whilst providing solutions to the shortcomings listed above.

The following are incorporated into this application:

1. Circulation and living space.

At ground floor level the kitchen is opened out into the centre of the house, with a dining area provided as part of a large open space created by the installation of a family room with a glazed wall facing south west.

2. The bathroom and utility room are extended by a small amount (approx. 900mm) out to the line of the existing retaining wall.

A new hall and stairs is installed on the east side of the building with access door and canopy giving onto a new hall at half landing level. This creates a new formal entrance to the house which gives the convenient choice of half level access to upper and lower accommodation.

3. At first floor level the eaves line of the existing lower section is raised to tie in with the existing eaves on the rest of the building, also bringing the ridge line on this section up to match the level of the existing ridge on the rest of the building.

This allows a simpler, more traditional roof form with gables at the east and west ends of the transverse section. It serves to increase headroom in the two bedrooms at that end of the house and provides the opportunity to provide larger windows at first floor level taking advantage of the excellent open views to east and west.

4. In addition to the improved utility accommodation, the utility room provides opportunity for a wet room type walk in shower and W.C. at ground floor level.

On the first floor a shower room/W.C and a bathroom/W.C. are proposed.

5. Appearance.

Externally the proposal is to retain the external materials and features wherever possible. Where rebuilding is necessary natural materials to match the existing are to be used, with stone surrounds and mullions as indicated.

Windows to be hardwood painted in fenestration patterns as indicated.



New chimney stacks to be built in salvaged materials and with traditional style pots.

The rendered gable to the west elevation to be stripped of render, repointed and patch rebuilt where necessary and treated with colourless silicone protection.

6. Views.

The accommodation has been arranged as shown on the plans and as described above taking account of the magnificent views at all sides of the property.

Where necessary windows have been provided in a form which is sympathetic and respectful of the local vernacular, but also from the standpoint that this is a dwelling designed to fulfil the expectations of a 21<sup>st</sup> century family.

Figures 5-10 – show the existing and proposed floorplans and elevations:



Figure 5: Existing Floorplans

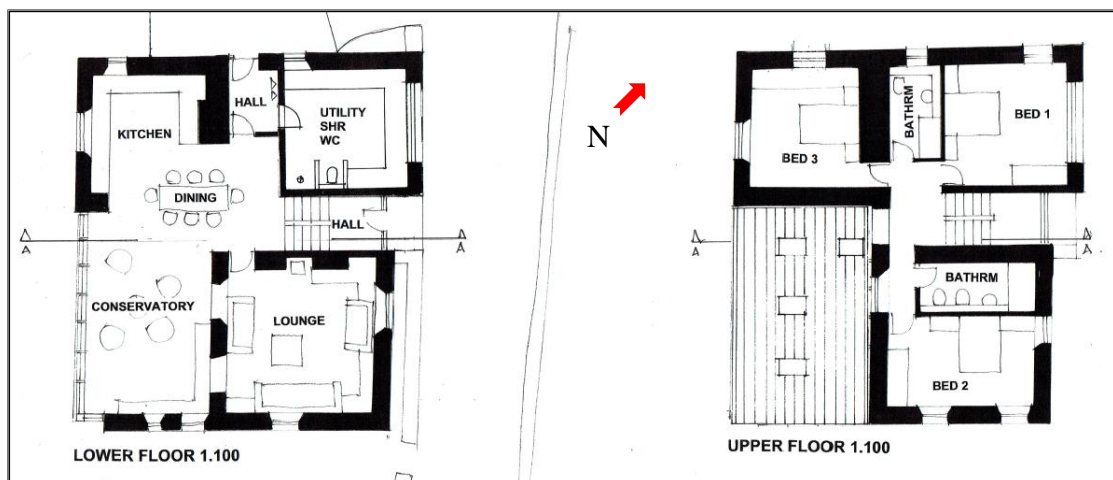
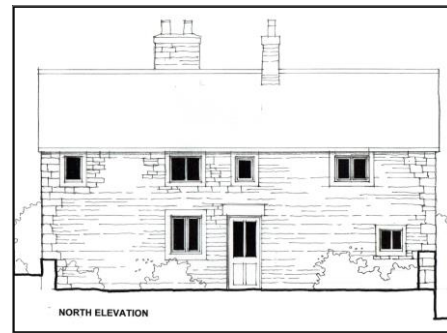
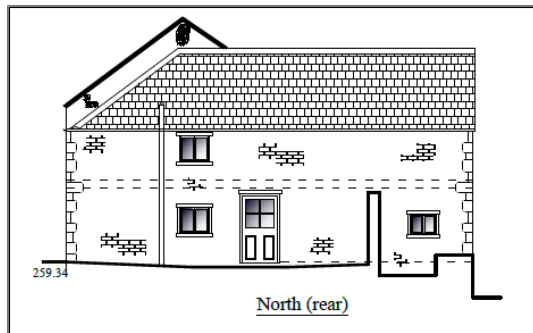
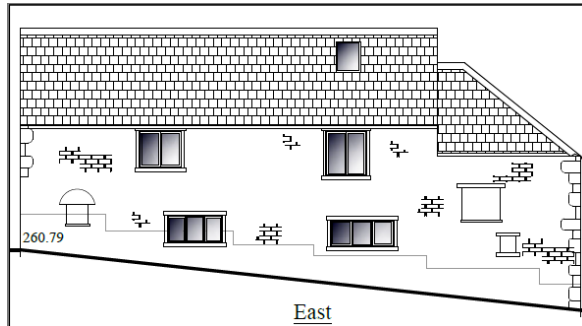


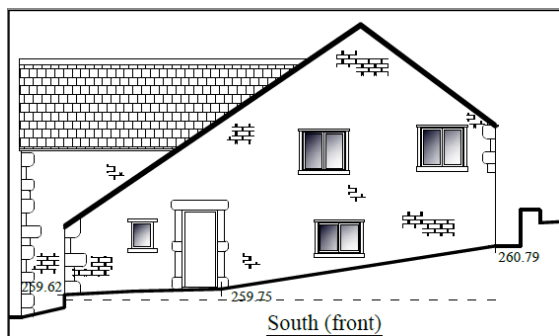
Figure 6: Proposed Floorplans



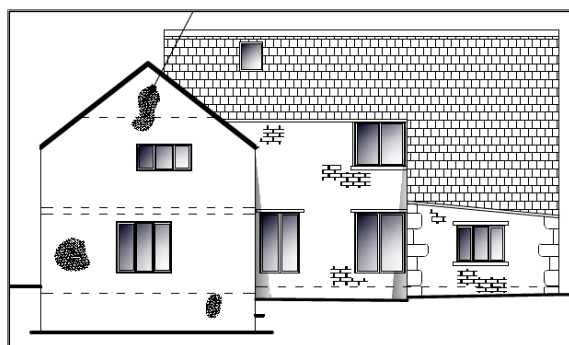
**Figure 7: North Elevations as Existing and Proposed**



**Figure 8: East Elevations as Existing and Proposed**



**Figure 9: South Elevations as Existing and Proposed**



**Figure 10: West Elevations as Existing and Proposed**

## 4.00 Principle of Development/Planning Policy

Ridge Top Farm is an existing 3 bedroom house and this application seeks only to continue that use in a way which is suitable for modern living patterns.

The proposal is to create modest extensions within the existing footprint of the house. It includes a small increase in the overall volume of the building but one which will not have any meaningful impact on the mass of the building and therefore on its impact on the green belt.

The other aspects of the proposals which are relevant from a planning standpoint are the changes to the appearance of the building. Changes to windows, the insertion of a new front door, removal of render and the rebuilding of chimney stacks are all proposals which will improve the visual aspect of the building when seen in its green belt context.

As such this package of alterations and improvements to Ridge Top Farm will fulfil the aspiration of the National Planning Policy Framework (NPPF) of making this house useful and sustainable as well as making an important start on improving the local environment.

Section 89 of the NPPF states:

*'A local planning authority should regard the construction of new buildings as inappropriate in Green Belt. Exceptions to this are:*

- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;'*

We strongly believe that the proposals are acceptable in principle as they involve modest extensions to a substantially constructed building and will preserve the openness of The Green Belt. HPBC have established this principle in approving the conversion and extensions of Gorsty Low Farm to form 2 separate dwellings (HPK/2016/0338).

### ***The Local Plan 2016***

Policy EQ4 of the Local Plan relates to Green Belt development and advises that the Council will seek to protect Green Belt and maintain its openness and permanence. Planning permission will not be granted for development unless it is in accordance with national planning policy. As discussed above, we believe the proposals are in accordance with The National Planning Policy Framework.

## **5.00 Access**

Access is provided to the property via existing arrangements and access and parking arrangements are unchanged.

The existing public footpaths which run through the applicant's land will remain open and unobstructed.

## **6.00 Environmental Analysis**

### ***Site stability, contamination and soil types***

The property would not be designated as contaminated land.

### ***Sunlight and Daylight***

The property is not significantly over shaded by other buildings or trees.

### ***Wind and micro climate***

The site is partially screened from high winds although in common with most local sites is subject to turbulence as a result of the surrounding high ground.

### ***Flood risk and drainage***

The site is not located in an area of flood risk.

### ***Archaeological and historic features***

No known archaeological features exist on site. No heritage assets are affected by the proposals.

### ***Views into and out of the site***

The site has the benefit of being adjacent to attractive open areas and is sufficiently elevated with views to the Peak District hills.

### ***Ecological and wildlife***

It is not envisaged that any bird or mammal habitat will be affected by the proposals: the property has had extensive re-roofing over the recent years (original cover replaced by artificial slates) and is located in an upland location. No trees or hedges are affected by the proposals.

## **7.00 Conclusions**

It is clear from the foregoing that the proposals would maintain the openness and constitute no harm to the Greenbelt.

We would therefore urge High Peak Borough Council to grant permission for this application.