

Proposed replacement of windows 61 West Road, Buxton, Derbyshire, SK17 6HQ Heritage Statement

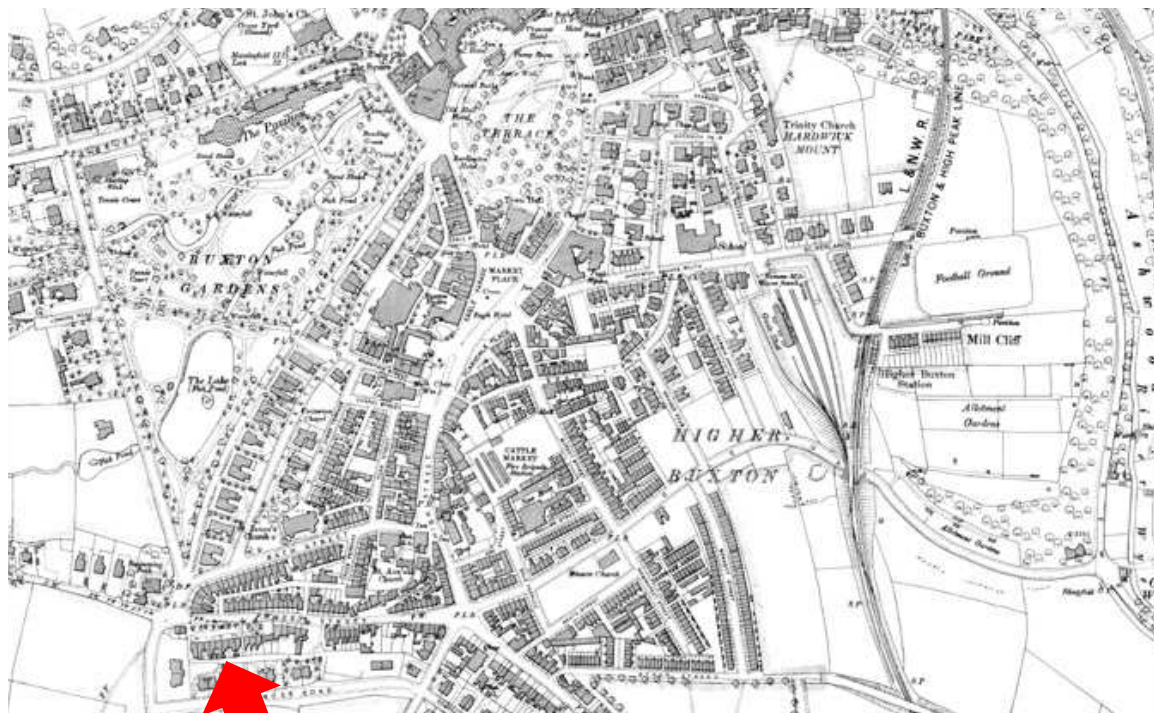
Date : November 2016

INTRODUCTION

The Heritage Statement has been written to comply with Planning Policy Statement 5: Planning for the Historic Environment: Policy HE6.

This document should be read in conjunction with Drawing 01 produced by Jonathan V Davies Chartered Surveyors.

GENERAL HISTORICAL DEVELOPMENT & CONTEXT



Map dated 1897

Extracts from Buxton Conservation Areas Character Appraisal – Description of Character Areas:

AREA 2 -

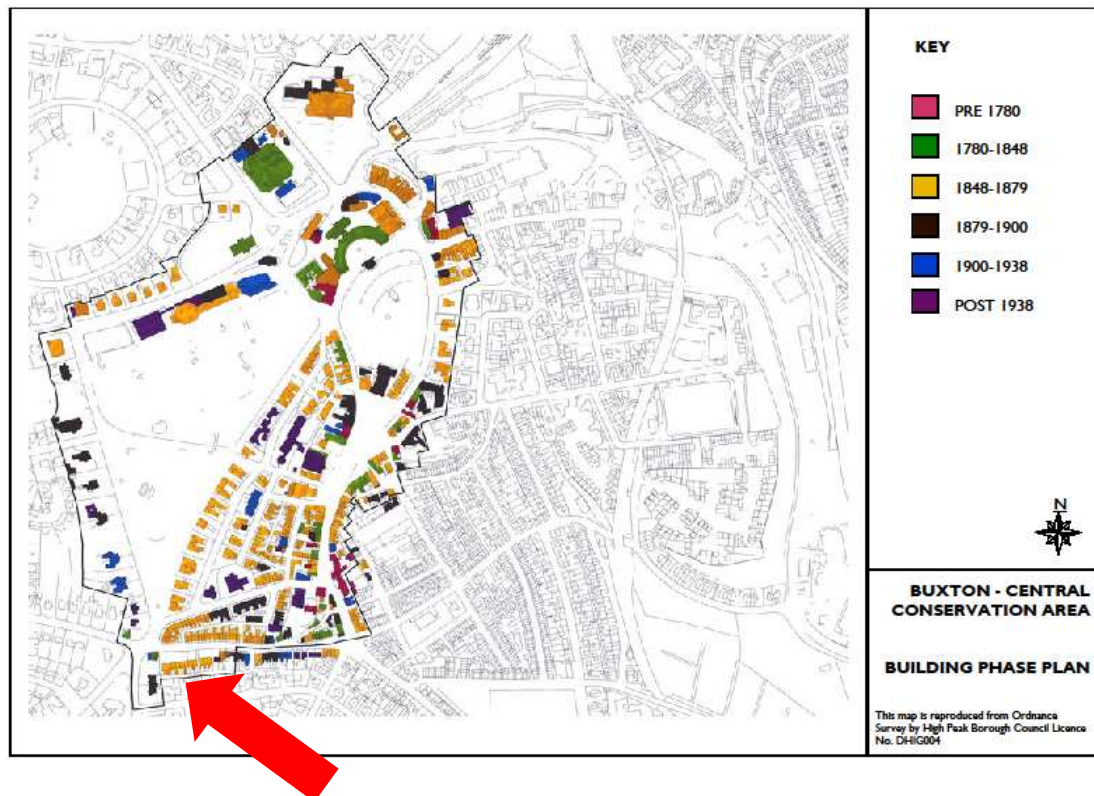
The character of **West Road** is dominated by two-storey terraces lining the street frontages, and a regular rhythm of single and two-storey bay windows, many with pointed arched sashes. The cottages have small private front gardens, most only large enough to accommodate a flowerbed. There are occasional glimpses of the back alley to the north and an important glimpsed view of Church Street, as it leads in a curve up the hill. The three-storey row of cottages (Nos. 2-12) near High Street

is an example of modest Georgian terraced housing, one of the few examples of Georgian workers housing left standing in Buxton, unaltered by later bay windows and Victorian embellishments, although it has many modern late 20th century alterations. Stylistically the terrace has the character of a building of circa 1800, although the Tithe map evidence suggests a very conservative design and a date from closer to 1850. It was designed to be a landmark building and stands out in the early engraving of the junction with London Road. Its significance is now largely lost amidst surrounding later development and alterations. The steep change in level between West Road and both Bath Road to the north and Spencer Road to the south is most marked within the narrow back alleys and passages between the terraced rows, where the full impact of the limestone outcrop can be seen and the rubble limestone walls of terraces along Bath Road tower dramatically above the alley. There is cohesion between the limestone rubble walling and the immediate geology from which it may have been quarried.

The single-storey building on the corner of West Road and Church Street is a focal point as it is noticeably different in scale from the immediate buildings and it leads the eye up Church Street. Although it has been altered (stonework painted white and original joinery replaced) and is in a low-key use, the area would benefit from it being treated as an important pivotal landmark. Another striking local building is the Bakers Arms, which is the earliest surviving building on this side of the street, although the mansard roof is a later alteration.

The south side of West Road has a different character. The two imposing terraces, Belvedere Terrace and Hartington Terrace, elevated above the road behind large retaining walls and forecourts were built to make the most of the heightened aspect. They were built with an access road at the rear, still largely complete with its setts. From here, access was provided in the form of narrow passages leading between the terraces, which provide glimpsed views north towards Higher Buxton.

The buildings alongside these passages dwarf the pedestrian. Further along West Road the buildings are a mixture of styles and periods, incorporating some of the earliest buildings in Buxton (Nos. 45 & 47) and some of the most recent (9, 11 & 17). The range of buildings is indicative of an area that developed over a long period. Several of the 18th century and probably earlier buildings illustrated on the 1894 sketch drawing have been demolished in recent times and replaced with an assortment of unsympathetic 20th century houses.



DESCRIPTION OF THE BUILDING AND SETTING

External Description

The property was constructed between 1848 and 1879. The building is constructed of coursed local gritstone, and roofed in welsh slates. The current timber bays and windows are modern replacements with the exception of the ground floor bay window which is possibly original.

Setting

The building is on the south side of West Road within a row of terraced residential properties which are three full storeys high.



Photo of Belvedere Terrace

SIGNIFICANCE

Assessing significance

Assessing significance is a key principle for managing change to heritage assets, and is embedded within current government policy; PPS5 policies HE6 and 7 (CLG, *PPS5, Planning for the Historic Environment*, 2010). A key objective in the PPS is to ‘conserve England’s heritage assets in a manner appropriate to their significance by ensuring that – decisions are based on the nature, extent and level of the significance...’ (PPS5 para 6). PPS5 advises that the more significant the heritage asset the greater the presumption in favour of its conservation (policy HE9). English Heritage issued *Conservation Principles* in 2008 to explain its philosophical approach to significance and managing change and identified four main aspects of significance: evidential, historical, aesthetic and communal. Within these categories, significance can be measured in hierarchical levels; the most usual levels are:

Exceptional – an asset important at the highest national or international levels, including scheduled ancient monuments, Grade I or II* listed buildings and World Heritage Sites. PPS5 advises that substantial harm should be wholly exceptional.

High – a designated asset important at a regional level and also at a national level, including Grade II listed buildings and conservation areas. PPS5 advises that substantial harm should be exceptional.

Medium – an undesignated asset important at a local to regional level, including local (non-statutory) listed buildings or those that make a positive contribution to the setting of a listed building or to a conservation area. May include less significant parts of listed buildings. Buildings and parts of structures in this category should be retained where possible, although there is usually scope for adaptation.

Low – structure or feature of very limited heritage or other cultural value and usually not defined as a heritage asset. May include low quality additions to listed buildings, and buildings that do not contribute positively to a conservation area. The removal or adaptation of structures in this category is usually acceptable where the work will enhance a related heritage asset.

Negative – structure or feature that harms the value of a heritage asset. Wherever practicable, removal of negative features should be considered, taking account of setting and opportunities for enhancement.

Significance of 61 West Road

The building is one of a number of similar properties on West Street within a block known as Belvedere Terrace. The property itself is Medium significance but the existing windows are modern additions and are of low significance.

The proposals

Replacement of windows and bays to front of the property only - the remainder of the house will not be affected.

All the proposed bay window materials are to match the existing i.e. timber

New windows to be timber sliding sashes to generally match existing but sashes will be 26mm thicker to accommodate double glazing.

The new windows will closely match those on the neighbouring properties which still have the original windows and bays.

The proposed replacement bay windows are of no further detriment to the conservation area and will improve the visual impact of the building by returning the windows and bays to their original design.

PPS5 policies HE5 and HE6

Planning policy statement PPS5 provides a policy framework for making decisions about historic assets. A key principle enshrined in PPS is the need to balance the significance of heritage assets benefits of the proposals.

Policy HE1 relates to climate change and heritage assets. The new addition will be designed to meet current standards for thermal insulation to minimise energy use and heat loss.

Policy HE7 relates to proposals that affect all heritage assets and requires assessments of significance and impact to be made as part of the application process. HE7.2 states that ‘in considering the impact of a proposal on a heritage asset, the Local Planning Authority (LPA) should take into account the particular nature of the significance of the heritage asset’.

HE9. PPS5 policies relate to the level of the asset’s significance and the level of harm that a proposal may cause. As the proposal would not cause ‘substantial harm’, HE9.2 does not apply in this case.

HE10 relates to the setting. Building beyond the historic envelope will affect some views of the building, but the amount of alterations low, as the rear end has previously been altered, the addition is sensitively designed and it will not affect a high significance part of the building or its setting