



WINDOWS - SPECIFICATION

All windows to be sliding sash in PVCu. Finish to be grain effect in anthracite grey throughout. All units fitted with double glazing to sashes. Doors to be composite construction, finish to be grain effect in anthracite grey throughout to match windows.

STONE - PERFORMANCE SPECIFICATION

All external walls to be of Crossland Hill coursed sandstone with sand cement mortar bed. Sample of stone previously submitted to the Local Authority Planning Office by the Client.
The material is predominantly medium to coarse grained sandstone.
The stone is a hard and strong material, generally well compacted. Suitable for all types of ashlar, worked masonry, paving and wall stone.
The mineral is quarried from an area that historical produces “Millstone Grit” stone.

Colour
Consistent buff colour with subtle tonal variations. A pale yellowish brown.
Quarry
Johnsons Wellfield Quarries, Crosland Hill, Huddersfield (See technical datasheet)

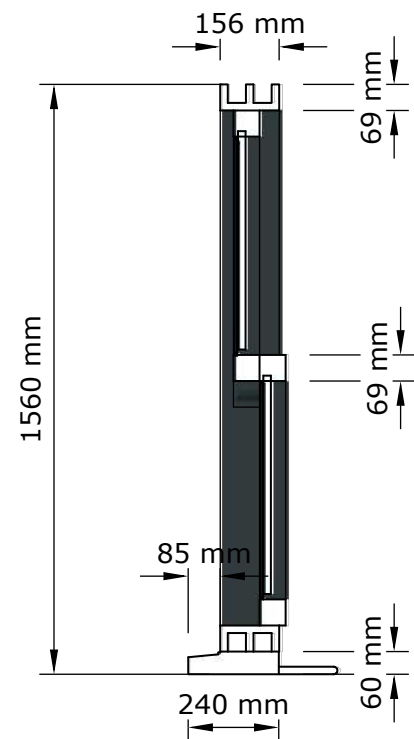
SLATES - PERFORMANCE SPECIFICATION

Product specification: To BS EN 12326-1. Methods of test: To BS EN 12326-2.

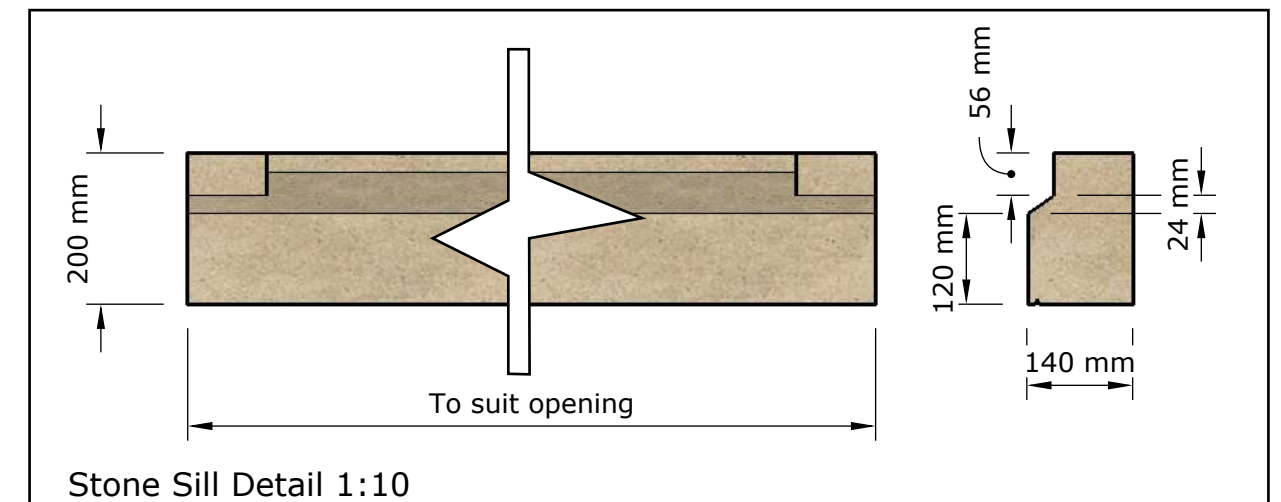
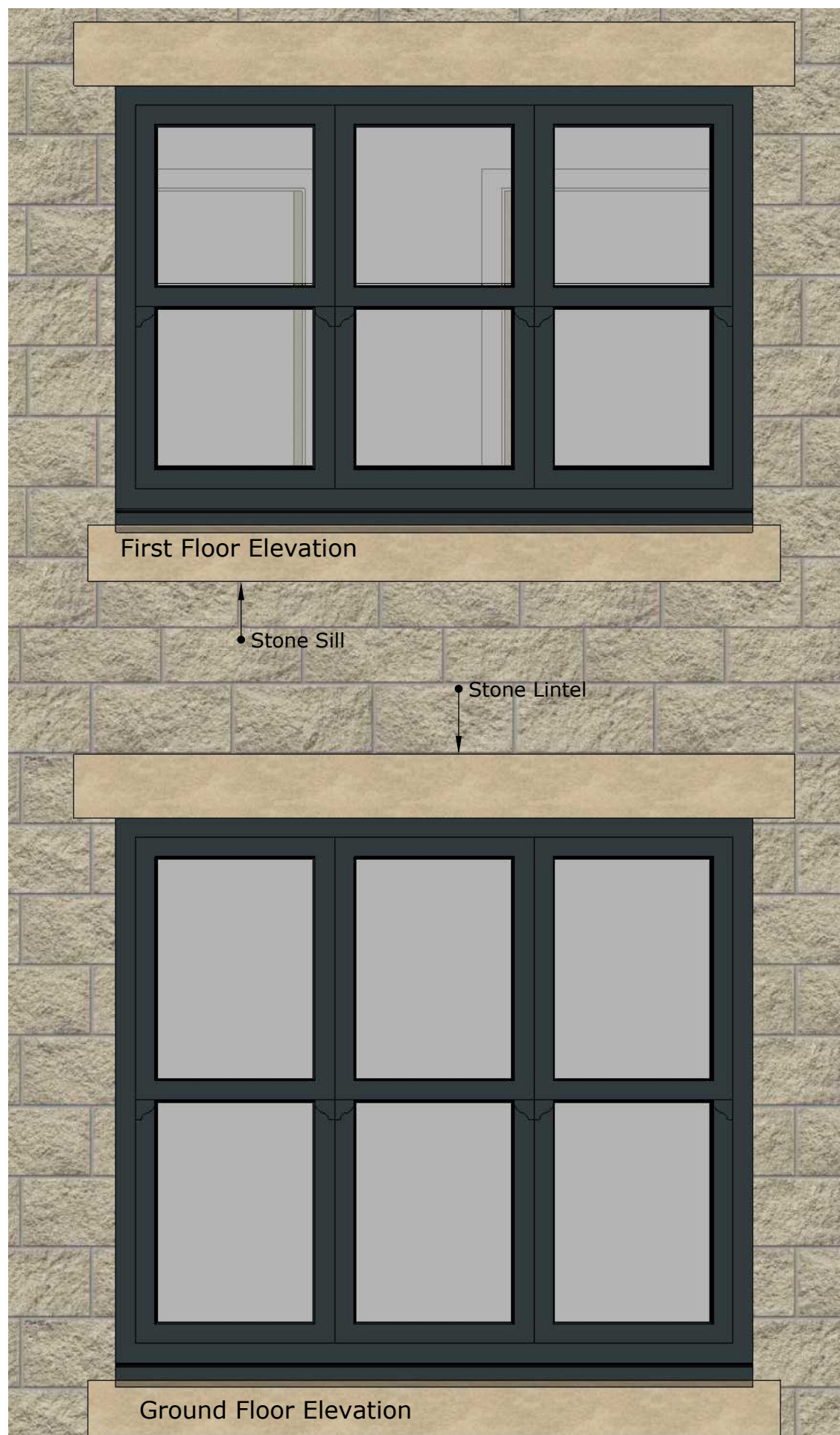
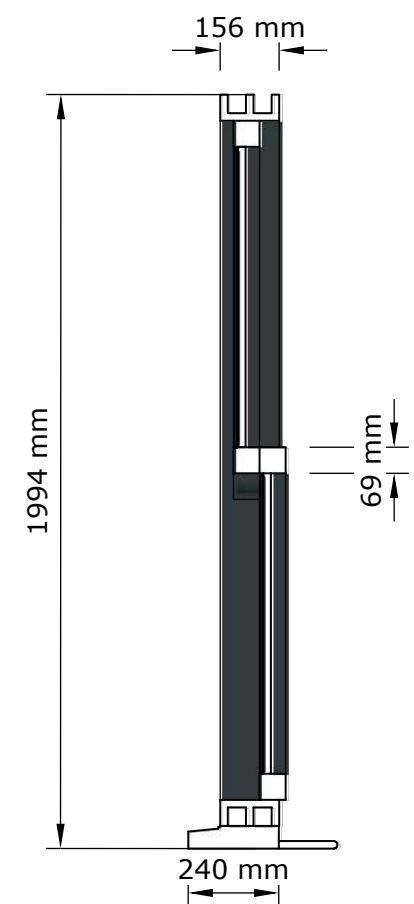
Slate type: Spanish Domiz. Deviations from declared length, width, edge straightness, rectangularity, and flatness are not to exceed values specified in BS EN 12326-1, clause 5.12. Nominal thickness and individual thickness variation: To BS EN 12326-1, clause,5.2.

Strength and characteristic modulus of rupture, transverse: 43MPa, longitudinal: 53MPa, mean failure load transverse: 495N/mm and longitudinal: 720N/mm. Water absorption code: A1: 0.31%. Thermal cycle test: Code: T1. Carbonate content: Complies: 0.92%. Sulphur dioxide test Code: S1. Non-carbonate carbon content: Less than or equal to 2%, Complies: 0.28%

Version	Item	Amendment/Addition Description	Page	Date
v0.1	1	All base layers set with no conservatorey	All	09 March 2016
v0.1	2	Garage postion recitifed.	1,4,	09 March 2016
v0.1	3	Inset showing boundary with The Poplars	5	10 March 2016



Typical Sections



All sills and lintels to be of fine sawn Crossland Hill sandstone finished as detailed. (See technical datasheet)

WINDOWS

All windows to be PVCu sliding sash windows as detailed. Windows to be Anthracite Grey to both sides. Windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band A or better and to achieve U-value of 1.6 W/m²K.



Cast Iron Effect RWP and brackets for RWP fixings.

Cast Iron Effect Ogee provides a decorative Ogee gutter (110mmx80mm), it also incorporates the best features of modern PVC systems and in particular the much larger capacity of the ogee system.

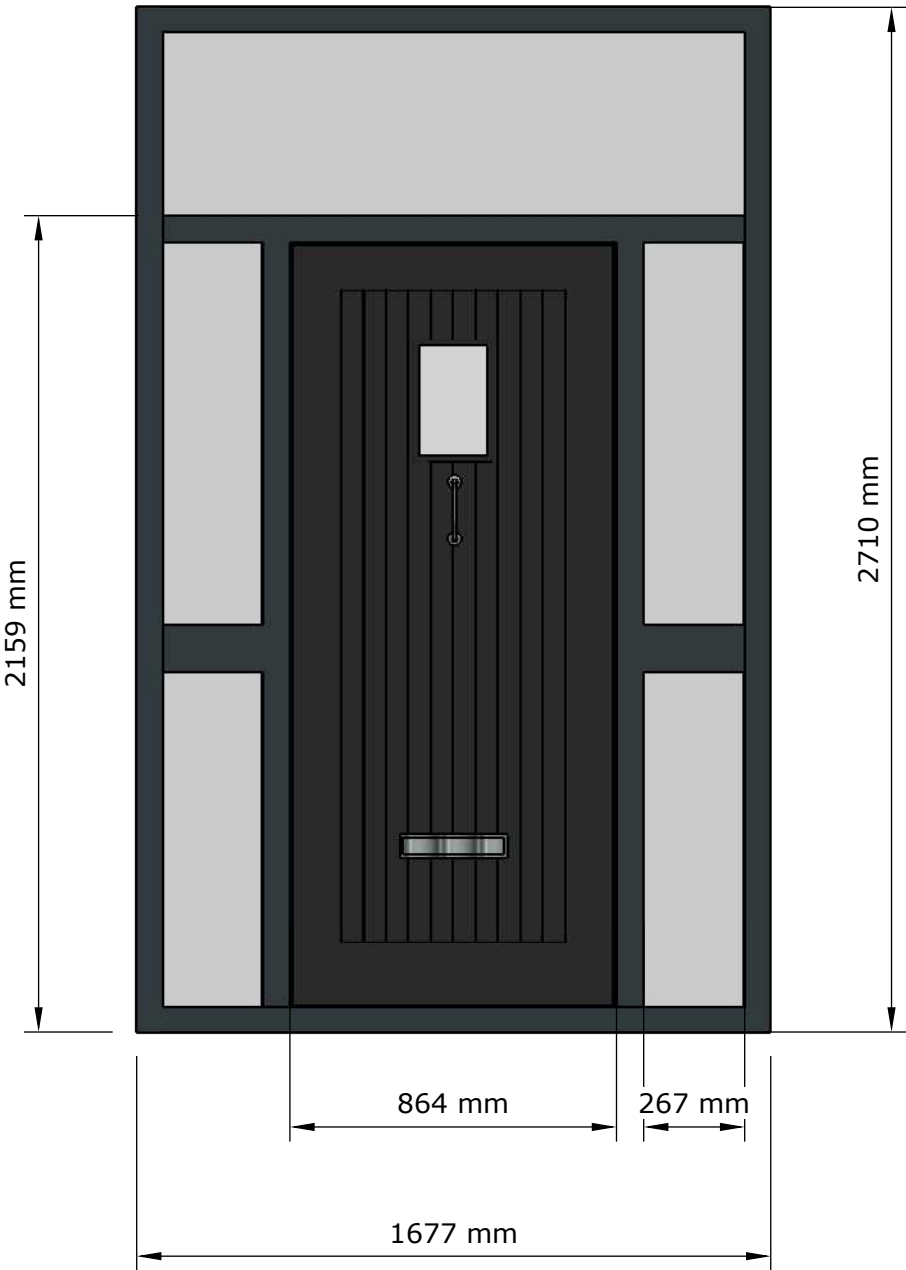
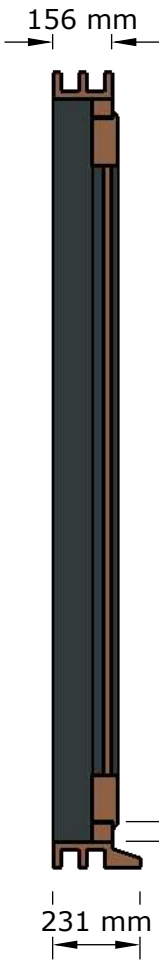
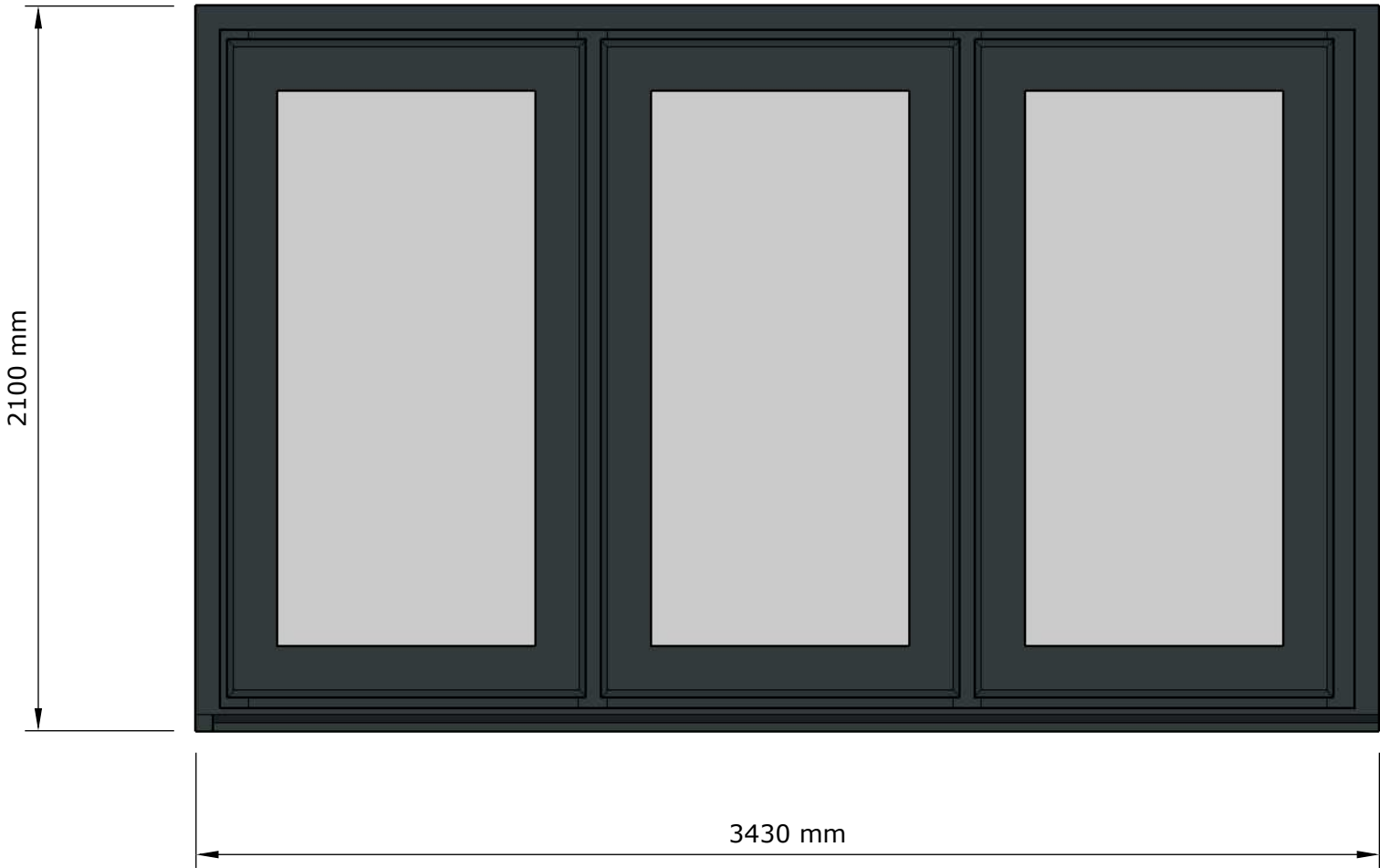
This is a very attractive gutter system that combines timeless aesthetics with a deep profile and an exceptionally high flow rate

DOORS

All doors to be PVCu/composite construction as detailed.
Doors to be Anthracite Grey to both sides.

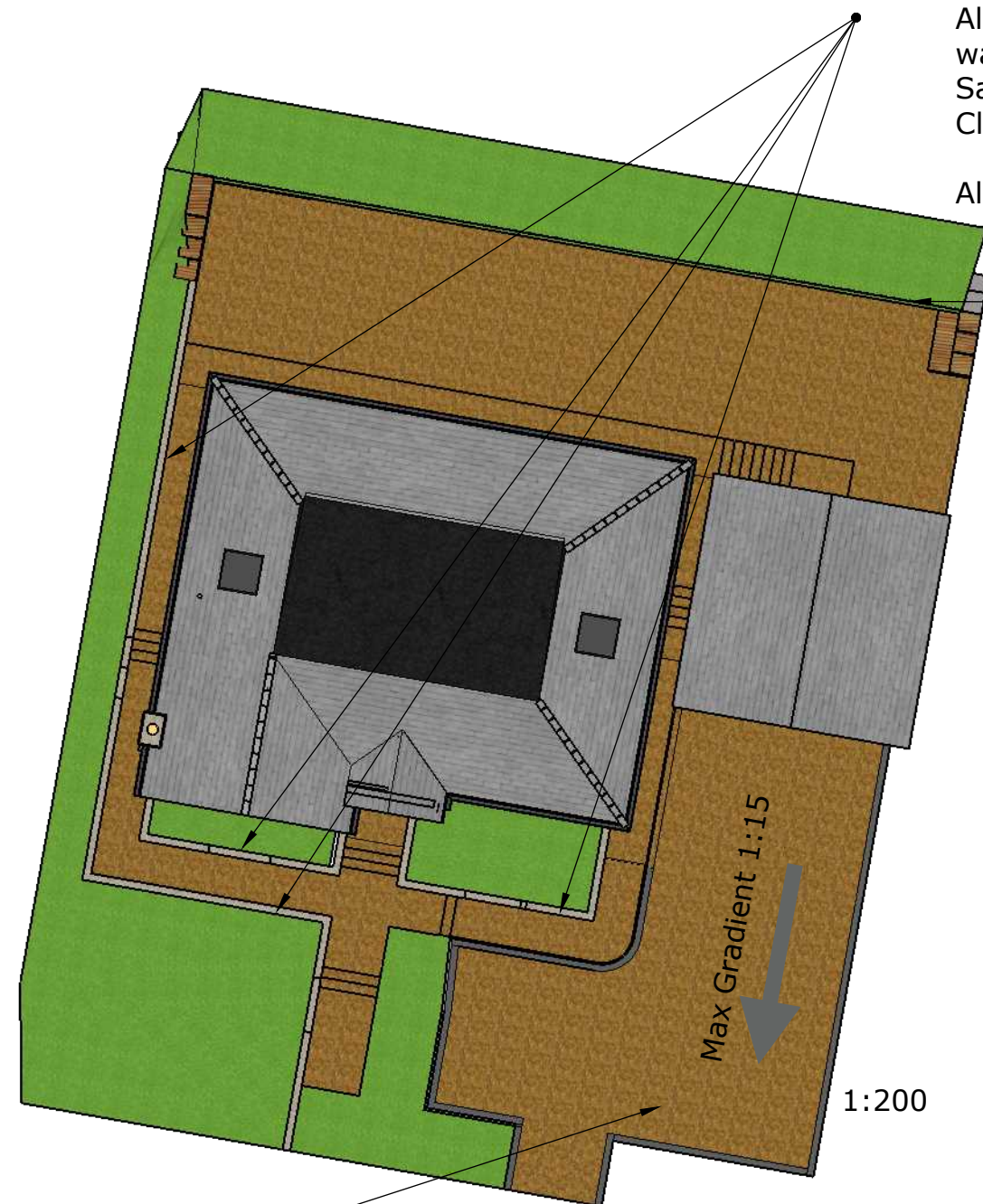
Doors to achieve a U-Value of 1.80W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

Rear Elevation Doors (3 Number)



Front Elevation Main Entrance Door

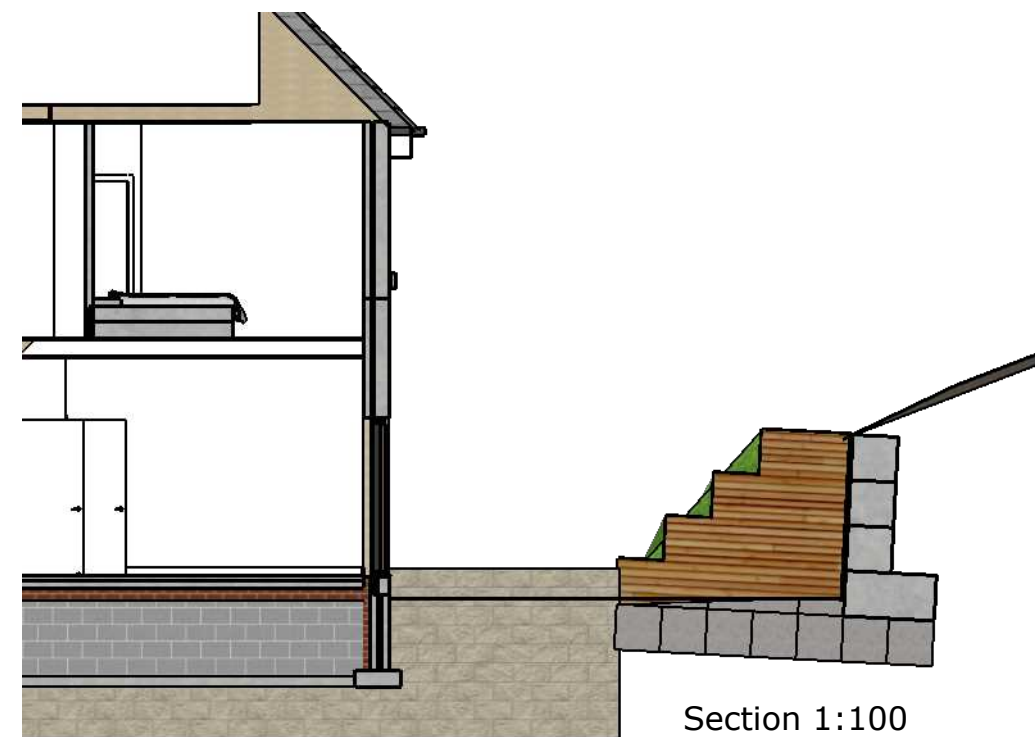
Same composite door to be used for the side door without the glazed frame.



All landscape retaining walls to the front and side elevations to be in All external walls to be of Crossland Hill coursed sandstone with sand cement mortar bed. Sample of stone previously submitted to the Local Authority Planning Office by the Client. (See technical datasheet)

All front and side gardens to be laid as lawn with wild meadow planted borders.

- Retaining wall to the rear to be of Wotmix precast concrete retaining units on a cast insitu concrete bedding. Wall face to be battened with tanalised 35mmx20mm roofing battens and clad in mid cedar lapped timbers to support climbing Hedera Hibernica .



- Driveway to be finished in resin bound amber gold stone, on 50mm bituminous binder course on 200mm compacted MOT Type 1 stone.



All vehicular areas to be framed in charcoal coloured block paving band 200mm wide.



Rendered Image of rear retaining wall with cedar cladding, with and without proposed ivy growth.

Existing chestnut fencing to Western boundary

Existing timber post to Eastern boundary to be fitted with wire mesh to complete the fence line.

Existing beech hedge to be maintained to the front and boundary with Talbot Road. Hedge to be removed to enable both vehicular and pedestrian site lines as per planning application HPK/2013/0030.



Privacy maintained by additional tree planting as per planning approval and page 7 Schedule.



Approximate location of boundary, shown red.



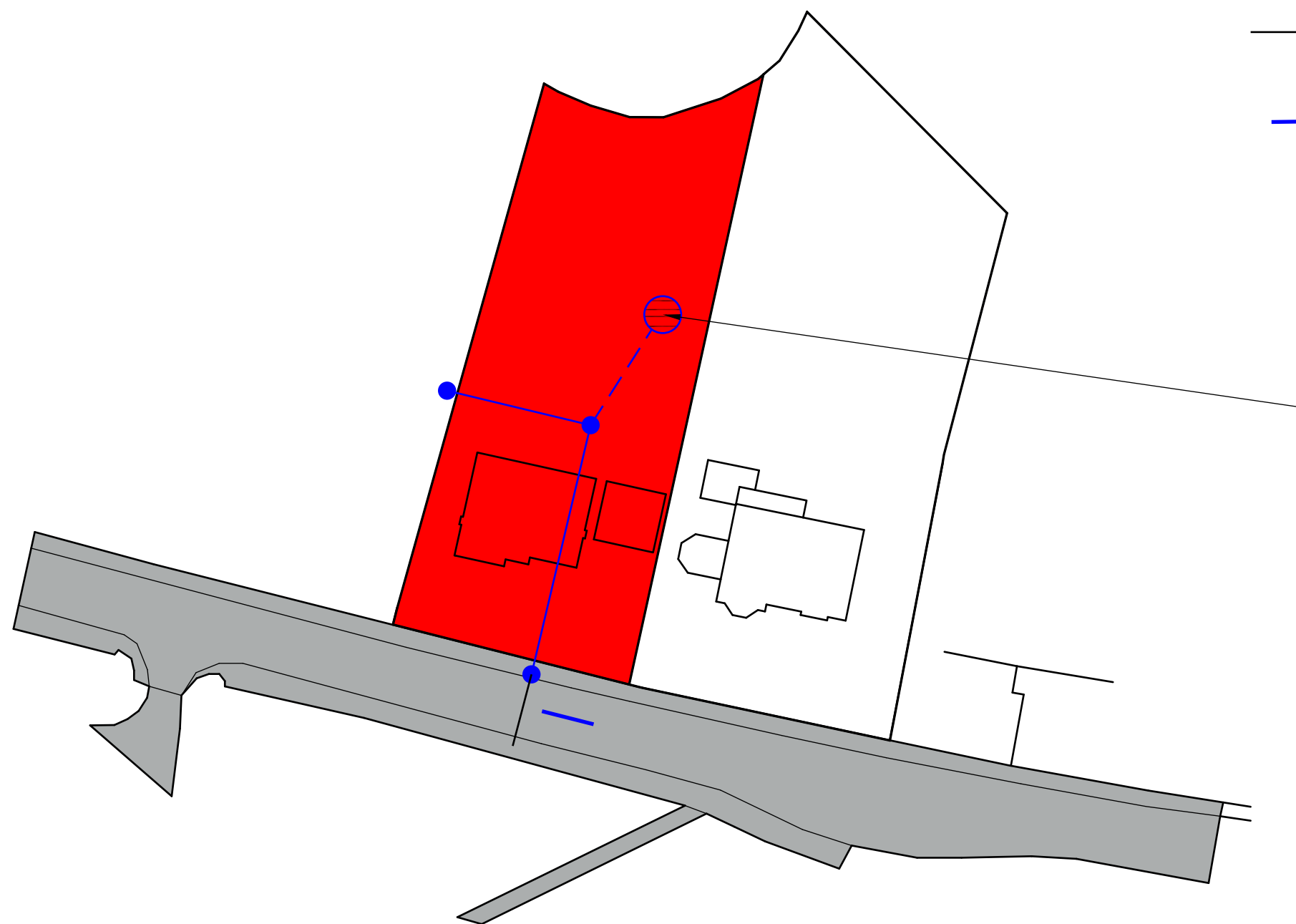
Privacy to The Poplars maintained through existing stone outbuilding and proposed garage as inset photo.



To be read in conjunction with drawing 201_A7h Layout.pdf

An application is currently submitted with Derbyshire County Council Highways Authority for both a temporary vehicular crossing for the duration of the build and a permanent vehicular crossing on completion. The permanent crossing will incorporate the visibility spays (2.4x43m) on drawing number 201_A7h Layout.pdf and the pedestrian visibility spays of 2x2m at 45° from the pedestrian entrance. All gates to open into the site. Main vehicular gate to be a width of 2.7m.

Works are planned to be undertaken by an accredited contractor under the New Road and Street Works Act and under the permit/supervision of Derbyshire County Council Highways Authority.



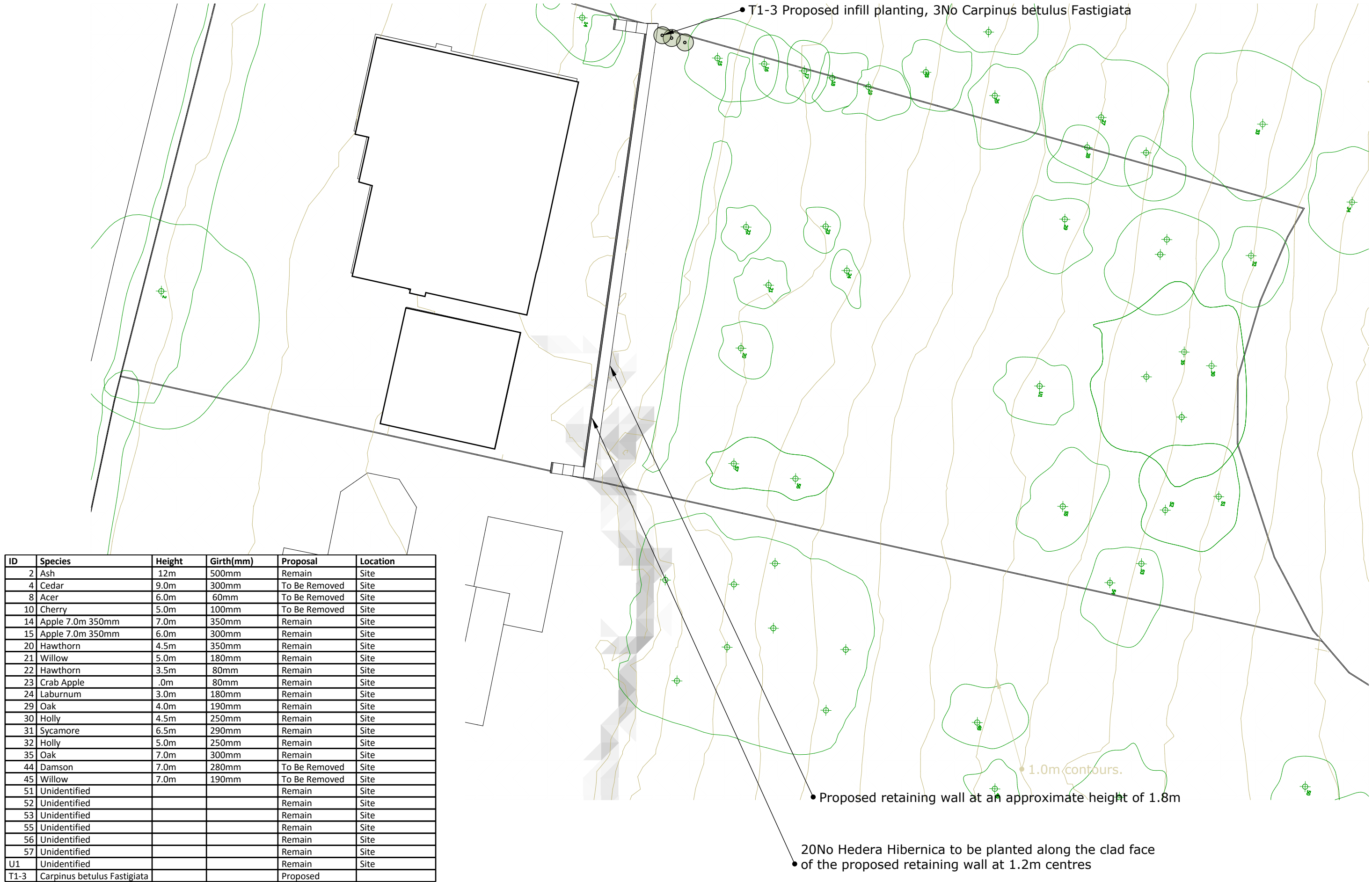
- Proposed Surface Water Inspection Chamber
- Proposed Surface Water Drain Run
- Existing Surface Water Connection to Existing Public Sewer
- - - Proposed Aco drain across the driveway threshold to collect all surface water from

Approximate proposed location of natural pond agreed with Mr T Taylor of Derbyshire Wildlife Trust. Pond to be established before March 2016 whilst pond life is dormant. The proposed pond to be supplied by the natural spring and will have an overflow connected to the existing SW outlet, shown - - -

Pond to be lined with a butyl pond liner, with gently sloping sides to provide the all-important shallow areas on which much wildlife depends.

Pond to have some water over 60mmm deep to avoid freezing solid in hard winter.

The translocation of species would be overseen by the Derbyshire Wildlife Trust



ID	Species	Height	Girth(mm)	Proposal	Location
2	Ash	12m	500mm	Remain	Site
4	Cedar	9.0m	300mm	To Be Removed	Site
8	Acer	6.0m	60mm	To Be Removed	Site
10	Cherry	5.0m	100mm	To Be Removed	Site
14	Apple 7.0m 350mm	7.0m	350mm	Remain	Site
15	Apple 7.0m 350mm	6.0m	300mm	Remain	Site
20	Hawthorn	4.5m	350mm	Remain	Site
21	Willow	5.0m	180mm	Remain	Site
22	Hawthorn	3.5m	80mm	Remain	Site
23	Crab Apple	.0m	80mm	Remain	Site
24	Laburnum	3.0m	180mm	Remain	Site
29	Oak	4.0m	190mm	Remain	Site
30	Holly	4.5m	250mm	Remain	Site
31	Sycamore	6.5m	290mm	Remain	Site
32	Holly	5.0m	250mm	Remain	Site
35	Oak	7.0m	300mm	Remain	Site
44	Damson	7.0m	280mm	To Be Removed	Site
45	Willow	7.0m	190mm	To Be Removed	Site
51	Unidentified			Remain	Site
52	Unidentified			Remain	Site
53	Unidentified			Remain	Site
55	Unidentified			Remain	Site
56	Unidentified			Remain	Site
57	Unidentified			Remain	Site
U1	Unidentified			Remain	Site
T1-3	Carpinus betulus Fastigiata			Proposed	



Site to be protected with a 2.0m Heras fence line and lockable gated access from Talbot Road.

Item	Condition	Email KT 15/12/15	Supporting Information
1	The development to which this permission relates must be begun not later than the expiration of three years from the date of this permission unless some other specific period has been indicated in other conditions given.	NA	NA
2	No development shall commence until samples of the materials to be used in the construction of the external surfaces of the approved development hereby permitted have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.	Materials type of stone and slate, where it is being sourced from.	HPK2013 0030 Planning Conditions Details.pdf Page 1
		Details of what the patio / footpaths – hard landscaping will be – e.g colour/make.	Stone -Technical Data Sheet - BS EN 12059 Dimensional Stone V1.2.pdf Slate E1217 SSQ Talbot Road Glossop Derbyshire AG.pdf
		Details of the specification of the gutters / downpipes	HPK2013 0030 Planning Conditions Details.pdf Page 2
		Details for the orangery will need to be provided and confirmed and for the garage.	Garage as per planning approval HPK/2013/0030, orangery to be removed and rear door opening amended as detailed on HPK2013 0030 Planning Conditions Details.pdf Page 1.
3	The development hereby permitted shall not be commenced until detailed plans and sections of the proposed windows and doors at a scale of 1:20 together with details of proposed finishes have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and retained in accordance with the approved details.	Window details – The condition stipulates that 1:20 plans will need to be submitted showing the proposed windows and doors including all finishes for doors and windows	HPK2013 0030 Planning Conditions Details.pdf Page 2 & 3
		The original windows as approved per plan 2341-203 indicate that these will be modern sash windows, you will need to get sections of these therefore drawn up and submitted.	HPK2013 0030 Planning Conditions Details.pdf Page 2 & 3
		The colour as per the sample finish is not acceptable as black , the site is in a prominent location along Talbot Road. The windows will therefore need to be a grey colour as per the original application to complement the stone. The same with the doors.	HPK2013 0030 Planning Conditions Details.pdf Page 2 & 3
			Window and Door Colour Chart.pdf
4	Notwithstanding the approved details, no development shall take place until there has been submitted to and approved in writing by the Local Planning Authority, a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the use hereby permitted is commenced, or before the building is occupied or in accordance with a timetable agreed in writing with the Local Planning Authority. Development shall be carried out and retained in accordance with the approved details.	All details need to be provided for boundary treatments which includes specifications and details of boundary treatments for the proposed garden areas – any retaining walls	HPK2013 0030 Planning Conditions Details.pdf Page 5
		A plan will need to show the position of those with an indication of design and materials.	HPK2013 0030 Planning Conditions Details.pdf Page 4
		Plan A7 you refer to does not have the detail on from the original application – it was also not submitted as part of this doc application.	Drawing 201_A7h Layout.pdf is to meet the requirements of the Highway Authority in relation to the proposed permanent access and sight lines. Copy attached to this application.
5	Prior to the commencement of development, details shall be submitted to and approved in writing by the Local Planning Authority showing the position and specification of a replacement pond suitable as habitat for breeding amphibians. The replacement pond shall be provided and translocation of existing amphibians, invertebrates/aquatic plants conducted prior to the loss of the existing pond and prior to the commencement of development and in accordance to a scheme to be submitted to and approved in writing by the Local Planning Authority. The translocation of species shall be carried out by a qualified ecologist.	Details of the pond – please see attached correspondence relating to the original application and the wildlife trust.	

6	Before any other operations are commenced a new vehicular access shall be created to Talbot Road in accordance with the revised application drawing, laid out, constructed and provided with visibility splays as shown in drawing A7H from a point 2.4m from the carriageway edge, measured along the centre line of the access, to the extremities of the site frontage for a distance of 43m in either direction. The area in advance of the sightlines being maintained throughout the life of the development clear of any object greater than 1m in height (0.6m in the case of vegetation) relative to adjoining nearside carriageway edge	To note this is a condition precedent and the access needs to be formed before any operations are commenced at the site.	HPK2013 0030 Planning Conditions Details.pdf Page 5
			Drawing 201_A7h Layout.pdf
7	Before any other operations are commenced, space shall be provided within the site curtilage for storage of plant and materials/ site accommodation/ loading and unloading of goods vehicles/ parking and manoeuvring of site operatives and visitors vehicles, laid out and constructed in accordance with detailed designs to be submitted in advance to the Local Planning Authority for written approval and maintained throughout the contract period in accordance with the approved designs free from any impediment to its designated use.	The plan as submitted is not acceptable – this plan does not tally with the original approved plans and as such can not be considered.	HPK2013 0030 Planning Conditions Details.pdf Page 8
8	Before the dwelling hereby approved is occupied, pedestrian visibility splays of 2m x 2m x 45 degrees shall be provided with the area in advance being maintained free of all obstructions.	NA	HPK2013 0030 Planning Conditions Details.pdf Page 5
9	The access width between the gate posts should be a minimum of 2.7m and gates shall open inwards only	NA	HPK2013 0030 Planning Conditions Details.pdf Page 5
10	The proposed access drive to Talbot Road shall be no steeper than 1 in 15 for the first 10m from the nearside highway boundary.	NA	HPK2013 0030 Planning Conditions Details.pdf Page 4
11	The premises, the subject of the application, shall not be occupied until space has been provided within the application site in accordance with the revised application drawings for the parking/ loading and unloading/ picking up and setting down passengers/ manoeuvring of residents/ visitors/ service and delivery vehicles laid out, surfaced and maintained throughout the life of the development free from any impediment to its designated use.	NA	NA
12	Prior to the commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority showing details of hard and soft landscaping proposed for the site.	Details need to be provided indicating soft and hard landscaping at the site. This shall include the number and species of planting – details of finished levels across the site and showing hard standing materials (see above in terms of materials). This should be shown on a site layout plan to indicate the landscaped areas and their planting.	HPK2013 0030 Planning Conditions Details.pdf Page 4
13	No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and those works shall be carried out as approved. These details shall include the number, sizes and species of the proposed planting; the proposed finished levels or contours; means of enclosure; vehicle and pedestrian access and circulation areas, hard surface materials.	Details need to be provided indicating soft and hard landscaping at the site. This shall include the number and species of planting – details of finished levels across the site and showing hard standing materials (see above in terms of materials). This should be shown on a site layout plan to indicate the landscaped areas and their planting.	HPK2013 0030 Planning Conditions Details.pdf Page 7

14	All planting seeding and turfing comprised in the approved details of landscaping shall be carried out in the first year of planting and seeding season following the first occupation of the buildings and no later than 12 months of that occupation or the completion of the development, whichever is the sooner and any trees or plants which within a period of 5 years from the completion of the approved scheme die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of a similar size and species, unless the local planning authority gives written consent to any variation.	See Condition 20	NA
15	No trees shrubs or hedges within the site which are shown as being retained on the approved plans shall be felled uprooted wilfully damaged or destroyed, cut back in any way or removed without the prior written consent of the local planning authority. Any trees shrubs or hedges removed without such consent, or which die or become severely damaged or seriously diseased within 5 years from completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species unless the Local Planning Authority gives written consent to any variation.	NA	NA
16	The first floor east facing window shown as belonging to bedroom 3 on drawing 2341 – 204 shall be fitted with fixed and obscure glazing. This shall be retained as such for the life of the development unless agreed otherwise in writing by the Local Planning Authority.	NA	NA
17	The garage which forms part of this consent shall be completed prior to occupation of the dwelling also given permission and shall be retained for the life of the development unless agreed otherwise in writing by the Local Planning Authority.	NA	NA
18	No windows shall be inserted into the east facing garage roof unless agreed otherwise in writing by the Local Planning Authority.	NA	NA
19	No windows shall be inserted into the west elevation at first floor or above unless agreed otherwise in writing by the Local Planning Authority	NA	NA
20	Prior to the commencement of development a scheme shall be submitted to and approved in writing by the Local Planning Authority showing a scheme for surface water drainage from the site. The scheme shall be retained and implemented as agreed.	Details of surface water drainage on the site need to be shown on a plan. This is to prevent surface water draining on the highway – details of soakaways etc need to be provided.	HPK2013 0030 Planning Conditions Details.pdf Page 6
21	The side facing roof windows shall be fitted with fixed and obscure glazing. This shall be retained as such for the life of the development unless agreed otherwise in writing by the Local Planning Authority.	NA	NA