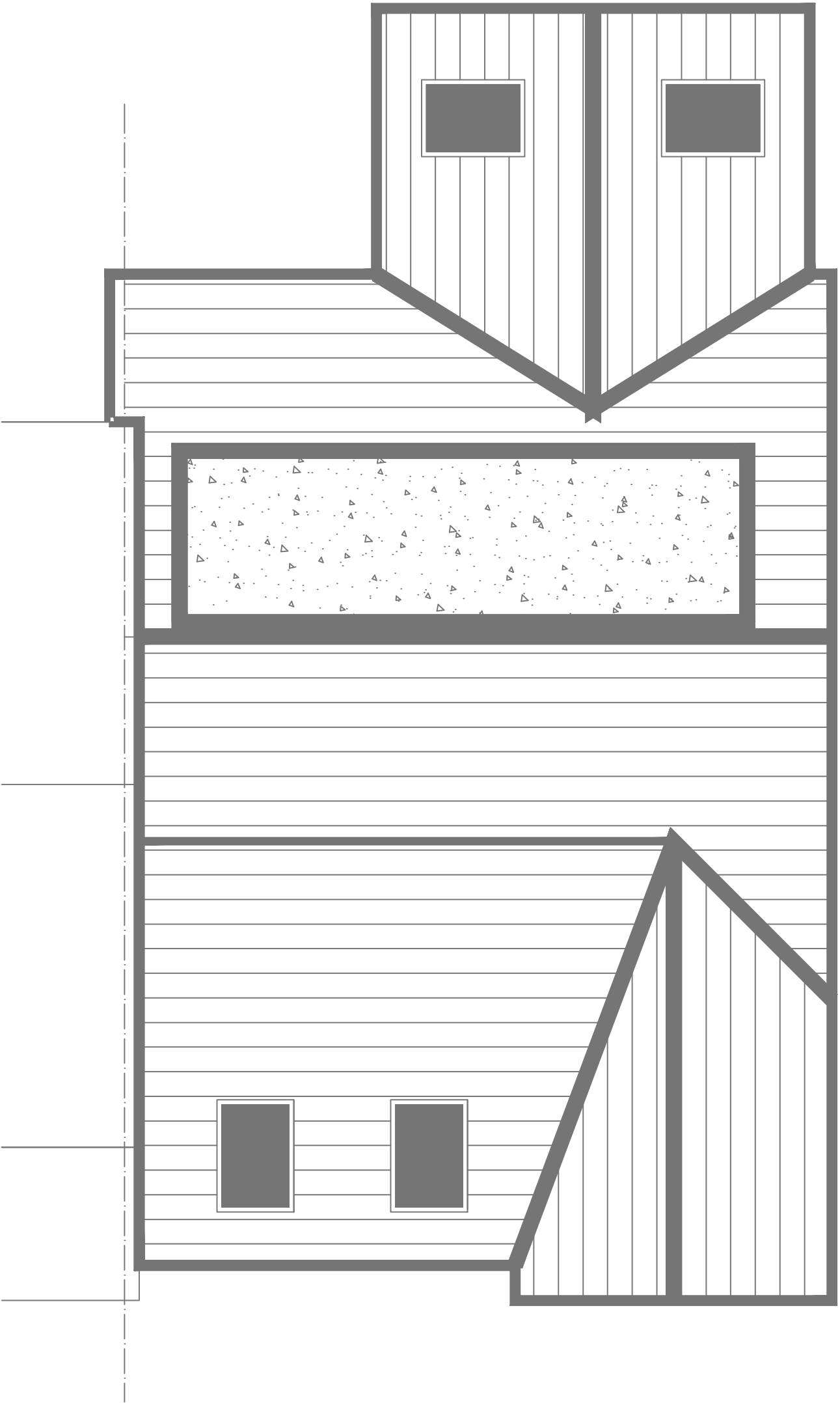


2 NEARWELL CLOSE, CHAPEL



REFER TO SPECIFICATION SHEET FOR ALL CONSTRUCTION DETAILS

THE PURPOSE OF THE APPLICATION IS TO REPLACE THE EXISTING CONSERVATORY BUILT IN THE MID 90'S WITH A MORE IN-KEEPING GABLED EXTENSION TO SIT BETTER WITH THE DWELLING AND ALLOW A MORE USABLE ROOM AS AN EXTENSION OF THE LOUNGE AREA. THIS EXTENSION IS POSITIONED TO MAINTAIN THE NEIGHBOURING RIGHT TO LIGHT.

TO THE REAR (OR FRONT DEPENDING ON HOW THE PROPERTY IS READ IN CONTEXT) AN EXTENSION WILL FILL THE GAP TO THE EXISTING KITCHEN EXTENSION AND THE NEIGHBOURING DWELLING. THIS EXTENSION ALLOWS NUMEROUS IMPROVEMENTS IN INTERNAL SPACE AND ALSO HAS NO IMPACT ON THE NEIGHBOURING DWELLING. IT IS UNDERSTOOD THAT THIS DID ACTUALLY FORM PART OF AN APPROVAL SOME 11 - 12 YEARS AGO.

TO THE LOFT AREA, THE APPLICATION REPRESENTS NO INCREASE IN THE AREA OF THE LOFT BUT DOES INDICATE A DORMER TO MIRROR THE EXISTING - THIS HAS BEEN DONE ELSEWHERE AND HELPS BALANCE THE ROOF AREA AND MAKES THE BEDROOMS FAR MORE USABLE.

THIS DWELLING ALSO CURRENTLY HAS TWO DOMESTIC GARAGES THAT SIT SIDE BY SIDE AS PART OF THE REGISTERED DOMESTIC BOUNDARY. THE PROPOSALS ALSO ALLOW FOR DEMOLITION AND REPLACEMENT WITH ONE DOUBLE GARAGE - THIS GARAGE IS UNDER 30m2 AND SITS LOWER THAN 2500mm AND IS POTENTIALLY DOMESTIC PERMITTED DEVELOPMENT. THIS GARAGE WILL FAR MORE IN KEEPING WITH THE ADJACENT GARAGE WITH FACED STONE ELEVATIONS

PROPOSED ROOF PLAN 1:50

DWG: PROPOSED 2 NEARWELL CLOSE CHAPEL EN LE FRITH	
REVISIONS:	

1:50	CHECKED:
DATE: JAN'14	DRAWN:

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PROPOSED 05

2 NEARWELL CL'